



Goodwyn Mills Cawood
11 North Water Street
Suite 15250
Mobile, Alabama 36602
T 251.460.4006
F 251.460.4423

FASCIMILE TRANSMITTAL COVER SHEET

DATE: April 17, 2024
TO: Doris Furr
FROM: Planholder
PROJECT: RENOVATIONS TO FREDERICKA G. EVANS CULTURAL CENTER
For BISHOP STATE COMMUNITY COLLEGE
GMC PROJECT NO. AMOB240022
RE: ADDENDUM NO. 1 AND ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM NO. 1

ACKNOWLEDGEMENT OF RECEIPT:

PLEASE PRINT RECIPIENT'S NAME, FIRM, AND DATE RECEIVED.

THEN FAX BACK TO (251) 460-4423 or EMAIL doris.furr@gmcnetwork.com
FOR OUR RECORDS AND TO ACKNOWLEDGE YOUR RECEIPT OF THIS ADDENDUM.

NAME (PLEASE PRINT)

FIRM (PLEASE PRINT)

DATE RECEIVED (PLEASE PRINT)

ADDENDUM NUMBER 1

April 17, 2024

PROJECT:

**RENOVATIONS TO FREDERICKA G. EVANS CULTURAL CENTER
BISHOP STATE COMMUNIT COLLEGE
GMC PROJECT NO. AMOB240022**

AD1-1 CLARIFICATIONS / RFI RESPONSES / ADDITIONS / ETC.:

- A. Bidders shall acknowledge receipt of the Addendum in writing, as provided on the Acknowledgment Receipt.
- B. A copy of the pre-bid agenda and meeting minutes as well as the sign in sheet are attached.
- C. The entire set of drawings should be replaced with the set provided with this Addendum.

AD1-2 ISSUED SPECIFICATIONS:

- A. None

AD1-3 ISSUED DRAWINGS:

- A. Replace ALL sheets.

AD1-4 ATTACHMENTS:

- A. Pre-Bid Meeting Agenda/Minutes
- B. Pre-Bid Sign In Sheet

END OF ADDENDUM

PREPARED BY



Goodwyn Mills Cawood, LLC
11 North Water Street, Suite 15250
Mobile, Alabama 36602
T 251.460.4006
F 251.460.4223

PRE-BID CONFERENCE AGENDA
FOR
BISHOP STATE COMMUNITY COLLEGE
RENOVATIONS TO FREDERICKA G. EVANS CULTURAL CENTER
GMC PROJECT NO. AMOB240022
April 17, 2024 AT 2:00 P.M.

Note: *This Agenda is complimentary, for general use as an outline and for discussion during this meeting. Any errors, omissions, or clarifications shall be communicated to the Architect for distribution. This Agenda does not attempt to be, nor represent, any recapitulation of Project requirements, and does not change or alter same in any respect; Changes, if any, will only be made by written Addendum.*

1. Welcoming remarks. Reminder to sign in on sheet being circulated
2. Name of Owner - Bishop State Community College
President –Olivier Charles
Director of Facilities - Kenney Holder
Assistant to the Chancellor ACCS – Frazier Payne

Goodwyn Mills Cawood, LLC Architect personnel:
Jim Walker - Project Manager
David Langford - Construction Administration
Doris Furr - Administrative Assistant
3. Every General Contractor and every Subcontractor should read and be familiar with all the “front-end” documents and all of Division 1 of the Project Manual, in addition to the work they are bidding and must coordinate with.
4. Bid time, date, place - is indicated in the Advertisement for Bids; Bishop State Community College on the main campus, Business Technology Center, **3rd Floor Board Room**, 351 Broad Street in Mobile, Alabama 36603, until 2:00 P.M., local time on April 30, 2024.
It is the Contractor’s responsibility to make sure Bid is received prior to bid time or it will not be accepted.
5. Note that Advertisement and Instructions to Bidders should be read by each bidder. For insurance requirements refer to General Conditions of the Contract (ACCS Form 2-B) Article 37. A Certificate of Insurance evidencing all the minimum requirements must be provided to and accepted by Bishop State Community College PRIOR to commencing on the contract.
6. Contractors shall use the Proposal Form included in Project Manual, copies of which are furnished to each bidder with Bid Documents. Only 1 copy is required to be submitted.

7. Before submitting a bid for the Work, the bidders shall carefully examine the Bid Documents, visit the site, and satisfy themselves as to the nature and location of the Work, and the general and local conditions, including weather, the general character of the site and building, the character and extent of existing work within or adjacent to the site and any other work being performed thereon at the time of submission of their bids.
8. Addenda - Minutes of Pre-Bid Meeting, and any pertinent items discussed shall be issued as Addendum following the Pre-Bid Meeting (Addendum No. 2). Any further addenda necessary after the Pre-Bid Meeting will be issued to all plan holders.
9. The Contract Documents shall be interpreted collectively, each part complementing the others and consistent with the Intent of the Contract Documents.
10. Clarification will be made only by written Addenda sent to all prospective bidders. Questions and Clarifications must be submitted in writing 48 hours prior to bid.
11. When the Bid Documents identify three or more sources and the list of sources is not followed by "or approved equal" or similar wording, the bidder's proposal shall be based upon one of the identified sources, unless the bidder obtains "Pre-bid Approval" of another source. Approval of substitutions, if granted, shall not be effective until published by the Architect in an addendum to the Bid Documents. Requests for substitutions will not be considered 72 hours prior to bid. Submittals during construction other than those pre-qualified or pre-accepted prior to bid will not be reviewed, but instead, returned for re-submittal, without exception.
12. If there is a conflict, discrepancy, or confusion between the existing conditions, plans and specifications for work, materials or equipment and the Contractor does not receive written clarification from the Architect prior to the opening of bids the Contractor shall include the better quality or greater quantity of work in his/her bid.
13. All information requested of the bidder on the Bid Form must be filled in. The form must be completed by typewriter or hand-printed in ink.
14. Explanations and Interpretations:
 - Written formal questions regarding the work shall be directed to the Architect in the form of an (RFI), Request for Information.
 - Communications by and with the Architect's consultants shall be through the Architect ONLY.
 - Contractor is responsible for all permits, licenses and fees required for the project.
15. Bids shall be accompanied by a Bid Security equal to 5% (percent) of the total bid price, including the allowance (if any), but in no event not more than \$10,000.00. Bid Security shall be on the form of a Bid Bond or cashier's check payable to Bishop State Community College. No Bid Security is required on Bids less than \$10,000.00.
16. Each bid shall be placed, together with a bid guaranty, in a sealed envelope. On the outside of

the envelope the bidder shall write in large letters "Proposal", below which the bidder shall identify the Project and the Work bid on, the name of the bidder, the bidder's current general contractor's state license number, and Project No.: AMOB240022.

17. Performance Assurance and Insurance: The bidder to whom award is made shall provide a Performance Bond equal to 100% of the total Contract Amount (including allowances) and a Labor and Material Bond equal to 100% of the total contract amount (including allowances). The accepted Bidder shall also provide insurance as required.
NO WORK IS TO BE PERFORMED UNTIL PROOF OF COMPLIANCE WITH THE INSURANCE REQUIREMENTS HAS BEEN RECEIVED BY BISHOP STATE COMMUNITY COLLEGE.
18. Bids may be delivered in person or by mail if ample time is allowed for delivery.
19. Award of contract by Awarding Authority, ASAP after the opening of bids.
20. Proposals may be rejected if they contain any omissions, alterations of forms, additions not called for, conditional bids, alternate bids unless called for, incomplete bids, erasures, or irregularities of any kind.
21. Completion Time for Project: Base Bid Completion Time: 90 consecutive calendar days from date of Official Notice to Proceed.
22. Liquidated Damages: \$250.00 per day for the first 10 calendar days that delivery is delayed beyond Substantial Completion Date, and then an additional \$250.00 per day until such time the Contractor delivers the Project to the Owner in accordance with the Contract Documents, except for minor punch list items.
23. Goodwyn Mills Cawood, LLC (Project Architect). Address and telephone numbers: 11 North Water Street, Suite 15250, Battle House Tower, Mobile, AL 36602, Phone: (251) 460-4006, Fax (251) 460-4423.

Project Manager: Jim Walker, AIA
Email: jim.walker@gmcnetwork.com
doris.furr@gmcnetwork.com
24. Closing remarks / questions.
25. Notes:

At the time the Contractor mobilizes on site, if there is any remaining furniture or other building contents left in the area of work, it shall be the Contractors responsibility to remove and lawfully dispose.



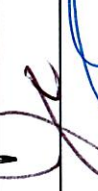




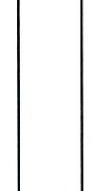
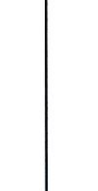

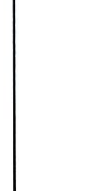
**BISHOP STATE COMMUNITY COLLEGE
RENOVATIONS TO FREDERICKA G. EVANS CULTURAL CENTER**



GMC PROJECT NO.: AMOB240022

PRE-BID SIGN-IN SHEET

April 17, 2024 at 2:00 PM

NAME	COMPANY	GC #	PHONE	EMAIL
Jim Walker, AIA 	Goodwyn Mills Cawood	NA	251-460-4006	jim.walker@gmcnetwork.com
Frazier Payne 	ACCS	NA	334-324-8454	frazier.payne@accs.edu
Kenney Holder 	BSCC	NA	251-217-4105	kholder@bishop.edu
Jason Carter 	Integrity Maintenance	54240	251-391-9073	integritym.17@gmail.com
Bill Davis 	Rogers & Willard, Inc.	18844	251-479-2675	bdavis@rogerswillard.com
Sean Brandon 	Gulf Services Contracting, Inc.	18144	251-404-9263	sbrandongsc@bellsouth.net
Seth Smith 	Rolin Construction, Inc.	46194	251-368-0072	seth@rolinbuilds.com
Ronnie Tindle 	Tindle Construction General Contract	51512	251-675-6117	rtindle@tindleconstruction.net
	JTB Sources LLC	58353	251-288-7000	
	Rogers and willard	18844	251-300-0449	

BISHOP STATE COMMUNITY COLLEGE
MAIN CAMPUS
RENOVATIONS TO THE FREDERICKA G. EVANS
CULTURAL CENTER
DEMOLITION PACKAGE
FOR THE
ALABAMA COMMUNITY COLLEGE SYSTEM

MOBILE, ALABAMA

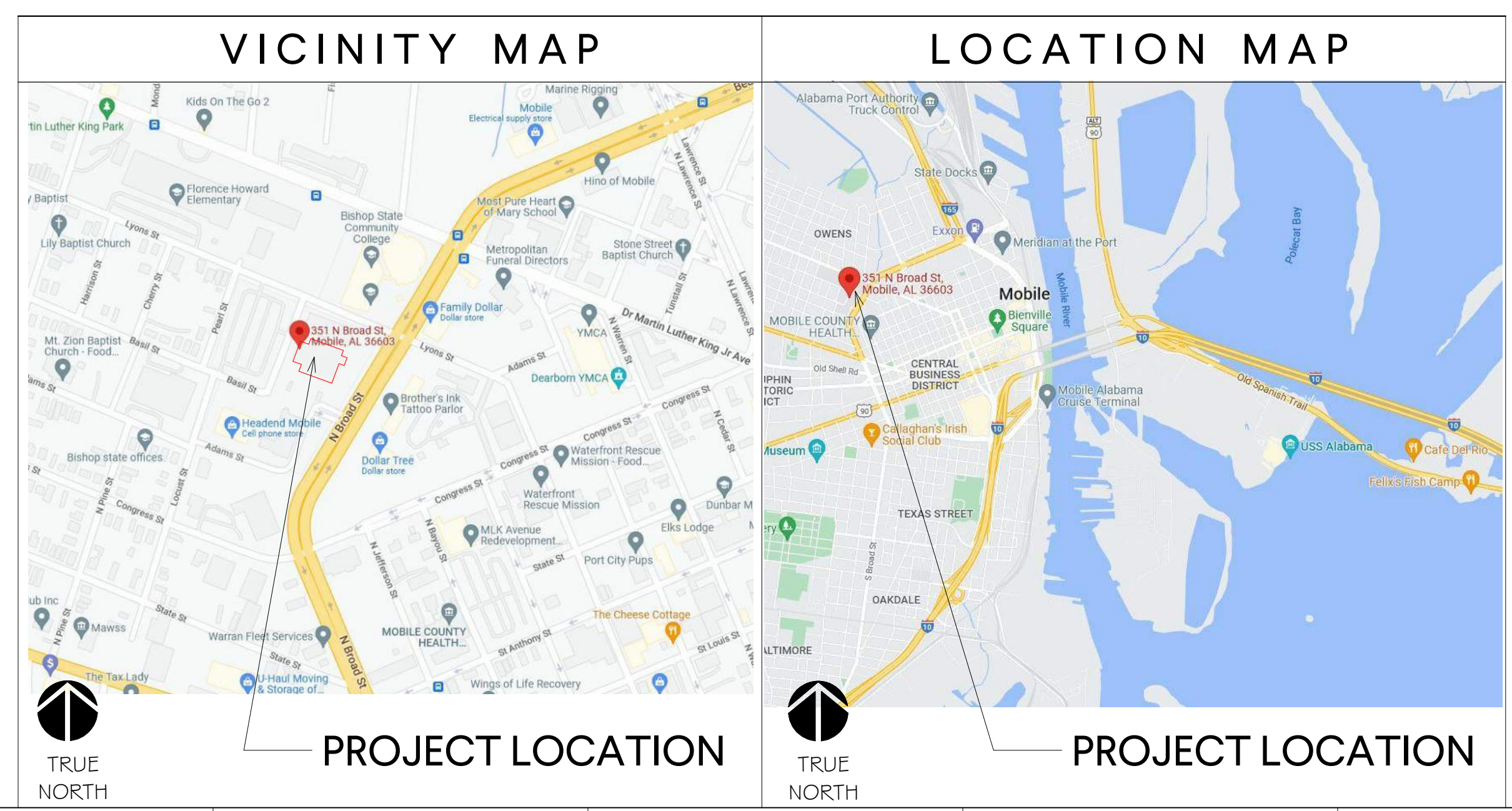
GOODWYN MILLS & CAWOOD, LLC
MW/ DAVIS DUMAS & ASSOCIATES, INC.
JACKSON RENFRO & ASSOCIATES, INC.
BARTER & ASSOCIATES, INC.

ARCHITECTURE & INTERIORS
 11 NORTH WATER STREET, SUITE 15250
 MOBILE, AL 36602
 251-460-4006 CONTACT: JIM WALKER, AIA

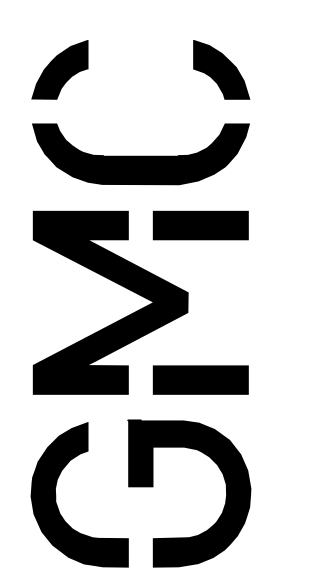
MECHANICAL, FIRE PROTECTION & PLUMBING ENGINEERING
 4500 SOUTHLAKE PARK, SUITE 200
 HOOVER, AL 35244
 205-252-0246 EXT.242 CONTACT: SAM DAVIS, PE

ELECTRICAL ENGINEERING
 31 INVERNESS CENTER PARKWAY, SUITE 300
 BIRMINGHAM, AL 35242
 205-536-7107 CONTACT: TIM COOKE, PE

STRUCTURAL ENGINEERING
 1614 GOVERNMENT STREET,
 MOBILE, AL 36604
 251-473-8354 CONTACT: JAMES RUSSELL, PE



INTERIOR DEMOLITION INDEX OF DRAWINGS	
SHEET NAME	
0.0 GENERAL	
D-G1.01	COVERSHEET
D-G1.02	GENERAL NOTES & BUILDING CODE SUMMARY
3.0 ARCHITECTURE	
D-A1.01	DEMOLITION FLOOR PLAN - 1ST FLOOR
D-A1.02	DEMOLITION FLOOR PLAN - 2ND FLOOR
D-A2.01	DEMOLITION RCP - 1ST FLOOR
D-A2.02	DEMOLITION RCP - 2ND FLOOR
D-A4.01	EXISTING CONDITIONS
D-A4.02	EXISTING CONDITIONS
5.0 MECHANICAL	
D-M1.01	DEMOLITION FLOOR PLAN - HVAC
6.0 PLUMBING	
D-P1.01	DEMOLITION FLOOR PLAN - PLUMBING
7.0 ELECTRICAL	
D-E1.01	FIRST FLOOR ELECTRICAL DEMOLITION PLAN
D-E1.02	SECOND FLOOR ELECTRICAL DEMOLITION PLAN
12	




11 North Water Street, Suite 15250
Mobile, AL 36602
T 251.460.4006
GMCNETWORK.COM

ISSUE DATE	ISSUED FOR BID DEMO PKG
04/05/24	04/05/24
04/17/24	ADDENDUM # 1

DRAWN BY:	AUTHOR
CHECKED BY:	CHECKER

Renovations to the Fredericka G. Evans Cultural Center
Bishop State Community College
351 N. Broad St Mobile, AL 36603
GMC # AMOB240022

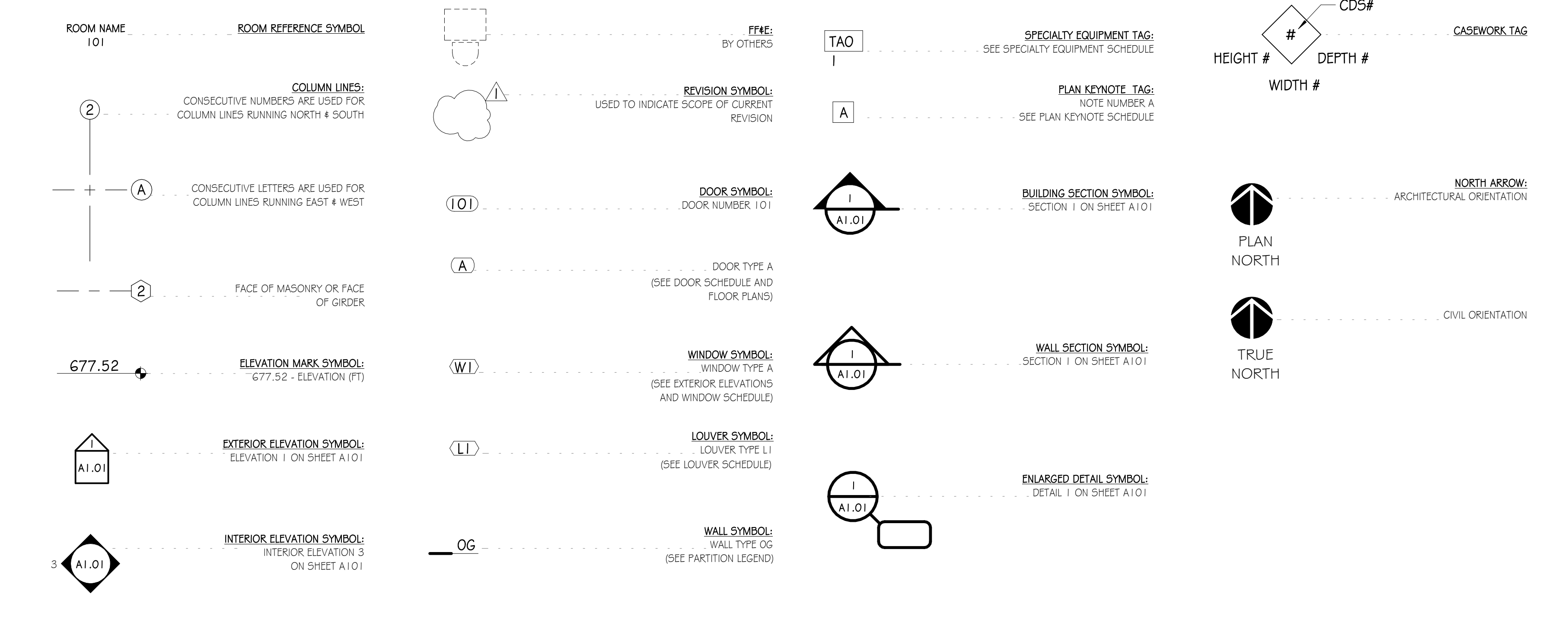


COVERSHEET **D-G1.01**
 sheet _ of _

ABBREVIATIONS

Table of abbreviations for construction documents, including terms like ACCESSIBLE, ACQUISITION, ADDENDUM, etc., with their corresponding symbols and codes.

ANNOTATION SYMBOLS



GENERAL NOTES

Table of general notes for Division 1 - General Requirements, including notes on complete contract documents, multi-trade coordination, verification, and drawing scale.

City of Mobile - Permitting Building Code Summary For All Commercial Projects

Information section of the permit form, including Name of Project, Address, and various checkboxes for building codes and construction types.

Mobile, MO Box 1827, Mobile, Alabama 36613. For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251.208.7198

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Table for Fire Rated Elements, listing items like Ceiling/Floors, Beams, Columns, etc., with required and hourly ratings.

Fire Department Requirements: The design professional shall provide the following required fire protection elements for the building.

Required water supply: GPM @ PSI. Method Used: The Insurance Service Office (ISO) Method, Illinois Institute of Technology (IIT) Method, International Fire Code 2021 (IFC).

Design Loads (City Ordinance 1609.3): Ultimate Design Wind Speed (IBC 1609 or ASCE 7). Risk Cat. I-145MPH, Risk Cat. II-159MPH, Risk Cat. III-169MPH, Risk Cat. IV-179MPH.

Wind-Borne Debris Region (IBC 1609): This building will use impact resistant glass per IBC 1609.2? Yes No. This building will use engineered shutters or other approved method? Yes No.

Flood Requirements (IBC 1612): All projects located in a Special Flood Hazard Area shall comply with the City of Mobile Storm Water Management and Flood Control Ordinance. Does this project comply? Yes No.

Special Inspections and Tests (IBC 17): I have reviewed the requirements of IBC Section 17, specifically 1705; the design incorporates the requirements and is reflected on the drawings and in the specifications. Below are the requirements to be included:

The Contractor has been notified of his responsibility under Section 1704. Yes No. Safety Glazing for Hazardous (IBC 2406) I have identified on drawings where tempered glass is required in hazardous locations (2406.4) Yes No.

Mobile, MO Box 1827, Mobile, Alabama 36613. For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251.208.7198

Total Lot Area (a) Existing Building: Gross Area of Building All floors (a) Existing Building. Total Building Footprint** (a) Existing Building. Building Height: Existing Building.

Existing Buildings: The building will remain in operation during construction. Yes No. If yes, add provisions for rigid safety barriers and dust barriers to protect the public during construction in accordance with the applicable provisions of IBC Chapter 33.

Renovations (Change of Occupancy): Is the work in this building or space changing the occupancy type or use? Yes No.

Construction Type: IA, IB, IIA, IIB, IIC, IIV, IVA, IVB, IVC, IVH, IVA, IVB. Occupancy Classification: A-1, A-2, A-3, A-4, A-5.

Building Element: Structural frame, columns, girders, trusses. Bearing walls exterior, interior. Non-bearing walls & partitions exterior, interior.

Table for NOT ADDING PLUMBING FIXTURES IN THE DEMO PACKAGE, listing occupancy, occupant load, and water closets.

Mobile, MO Box 1827, Mobile, Alabama 36613. For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251.208.7198

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DIVISION 3 - CONCRETE

DIVISION 21 - FIRE SUPPRESSION

1.15. GENERAL CLEAN-UP: THE GENERAL CONTRACTOR SHALL INCLUDE ONGOING CLEAN-UP OF THE PROPERTY AND BUILDING, INCLUDING REMOVAL OF TRASH AND WASTE MATERIALS, ON A REGULAR BASIS DURING CONSTRUCTION.

1.16. OWNER FURNISHED EQUIPMENT: LOOSE FURNISHINGS, WORKSTATIONS, OFFICE EQUIPMENT, COPIERS, VENDING MACHINES, KITCHEN EQUIPMENT, AND SIMILAR ITEMS THAT ARE BOTH LABELED "OWNER FURNISHED" OR "OFO", AND SHOWN DASHED OR IN GRAY-TONE SHALL BE CONSIDERED OWNER-FURNISHED EQUIPMENT.

1.17. (OPTIONAL - RENOVATION) PARTITION DESIGNATION: EXISTING PARTITIONS SCHEDULED TO BE REMOVED ARE ILLUSTRATED AS DASHED LINES ON THE PLANS LABELED "DEMOLITION PLANS". EXISTING PARTITIONS TO REMAIN ARE ILLUSTRATED IN GRAY-TONE (SCREENED). NEW WORK IS ILLUSTRATED IN BLACK-LINE IN NEW CONSTRUCTION PACKAGE.

1.18. (OPTIONAL - RENOVATION) PROTECTION: EXISTING OCCUPIED AREAS, AND WORK TO REMAIN AFTER CONSTRUCTION, SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES. PROTECTION SHALL ENCOMPASS CONSTRUCTION OF TEMPORARY BARRIERS, MAINTENANCE OF EXISTING MECHANICAL, FIRE PROTECTION, AND ELECTRICAL SYSTEMS, AND PHYSICAL PROTECTION OF WORK TO REMAIN THAT IS SUBJECT TO DAMAGE FROM CONSTRUCTION ACTIVITIES.

1.19. (OPTIONAL - HC RENOVATION) PROTECTION: EXISTING OCCUPIED AREAS OF THE BUILDING SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS FOR THE DURATION OF THE WORK. THESE PROVISIONS INCLUDE BUT ARE NOT LIMITED TO: INSPECTION CONTROL, REQUIREMENTS SPECIFIC TO PROTECTION OF TEMPORARY BARRIERS, PROVISIONS FOR SEALING OF EXISTING DOWNSPOUTS, TEMPORARY VENTILATION INCLUDING HEPA FILTRATION, SOUND ISOLATION, AND PREVENTION OF CONDITIONED AIR LOSSES.

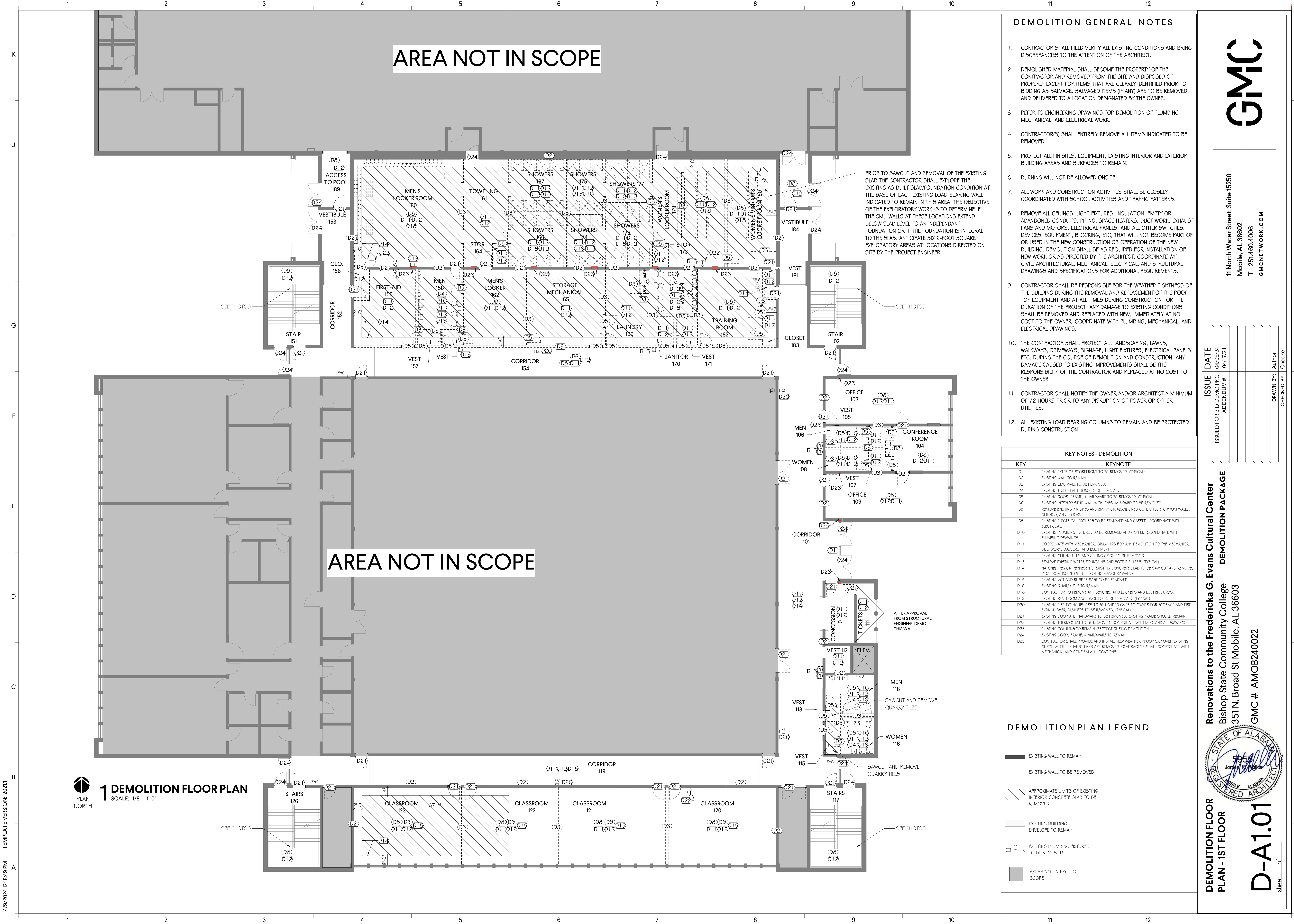
1.20. (OPTIONAL - HC RENOVATION) SERVICE INTERRUPTION: ANY SERVICE INTERRUPTION MUST BE SCHEDULED IN ADVANCE WITH THE OWNER'S AUTHORIZED REPRESENTATIVE. WHETHER SUCH INTERRUPTION IS FOR ADDITION, MODIFICATION, OR TESTING OF ANY EXISTING SERVICE, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO MINIMIZE INTERRUPTION TO THE EXISTING FACILITY.

3.03. CORE DRILLING - FLOOR SLABS: THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF THE LOCATION AND DIMENSION OF ANY PROPOSED CORES THROUGH STRUCTURAL FLOOR SLABS, PRIOR TO COMMENCING CORING ACTIVITIES. CORE DRILLING IS STRICTLY PROHIBITED (SLEEVES ONLY) IN ANY POST-TENSIONED STRUCTURED FLOOR SLAB ASSEMBLIES.

21.03. FIRE PROTECTION PIPING: SPRINKLER PIPING SHALL BE UNENUMBERED BY THE WORK OF ANY OTHER TRADE THROUGHOUT THE ENTIRE BUILDING. UNDER NO CIRCUMSTANCES SHALL ANYTHING BE SUPPORTED BY, DRAPED OVER, TIED-OFF TO, OR SUSPENDED BY SPRINKLER PIPING.

Vertical sidebar containing project information: GMC logo, address (11 North Water Street, Suite 15250), phone (251.460.4006), website (GMCNETWORK.COM), and permit details (ISSUE DATE, ADDENDUM #1, etc.).

Professional seal and signature of James M. Grier, Registered Architect, State of Alabama, No. 5956.



AREA NOT IN SCOPE

AREA NOT IN SCOPE

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
2. DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY EXCEPT FOR ITEMS THAT ARE CLEARLY IDENTIFIED PRIOR TO BIDDING AS SALVAGE. SALVAGED ITEMS (IF ANY) ARE TO BE REMOVED AND DELIVERED TO A LOCATION DESIGNATED BY THE OWNER.
3. REFER TO ENGINEERING DRAWINGS FOR DEMOLITION OF PLUMBING MECHANICAL, AND ELECTRICAL WORK.
4. CONTRACTOR(S) SHALL ENTIRELY REMOVE ALL ITEMS INDICATED TO BE REMOVED.
5. PROTECT ALL FINISHES, EQUIPMENT, EXISTING INTERIOR AND EXTERIOR BUILDING AREAS AND SURFACES TO REMAIN.
6. BURNING WILL NOT BE ALLOWED ONSITE.
7. ALL WORK AND CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH SCHOOL ACTIVITIES AND TRAFFIC PATTERNS.
8. REMOVE ALL CEILINGS, LIGHT FIXTURES, INSULATION, EMPTY OR ABANDONED CONDUITS, PIPING, SPACE HEATERS, DUCT WORK, EXHAUST FANS AND MOTORS, ELECTRICAL PANELS, AND ALL OTHER SWITCHES, DEVICES, EQUIPMENT, BLOCKING, ETC. THAT WILL NOT BECOME PART OF OR USED IN THE NEW CONSTRUCTION OR OPERATION OF THE NEW BUILDING. DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK OR AS DIRECTED BY THE ARCHITECT, COORDINATE WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE WEATHER TIGHTNESS OF THE BUILDING DURING THE REMOVAL AND REPLACEMENT OF THE ROOF TOP EQUIPMENT AND AT ALL TIMES DURING CONSTRUCTION FOR THE DURATION OF THE PROJECT. ANY DAMAGE TO EXISTING CONDITIONS SHALL BE REMOVED AND REPLACED WITH NEW, IMMEDIATELY AT NO COST TO THE OWNER. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS.
10. THE CONTRACTOR SHALL PROTECT ALL LANDSCAPING, LAWNS, WALKWAYS, DRIVEWAYS, SIGNAGE, LIGHT FIXTURES, ELECTRICAL PANELS, ETC. DURING THE COURSE OF DEMOLITION AND CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REPLACED AT NO COST TO THE OWNER.
11. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF POWER OR OTHER UTILITIES.
12. ALL EXISTING LOAD BEARING COLUMNS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

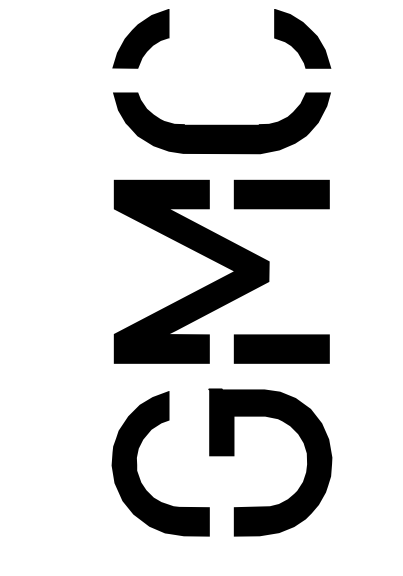
PRIOR TO SAWCUT AND REMOVAL OF THE EXISTING SLAB THE CONTRACTOR SHALL EXPLORE THE EXISTING AS BUILT SLAB/FOUNDATION CONDITION AT THE BASE OF EACH EXISTING LOAD BEARING WALL INDICATED TO REMAIN IN THIS AREA. THE OBJECTIVE OF THE EXPLORATORY WORK IS TO DETERMINE IF THE CMU WALLS AT THESE LOCATIONS EXTEND BELOW SLAB LEVEL TO AN INDEPENDANT FOUNDATION OR IF THE FOUNDATION IS INTEGRAL TO THE SLAB. ANTICIPATE SIX 2-FOOT SQUARE EXPLORATORY AREAS AT LOCATIONS DIRECTED ON SITE BY THE PROJECT ENGINEER.

KEY NOTES - DEMOLITION

KEY	KEYNOTE
D1	EXISTING EXTERIOR STOREFRONT TO BE REMOVED. (TYPICAL)
D2	EXISTING WALL TO REMAIN.
D3	EXISTING CMU WALL TO BE REMOVED.
D4	EXISTING TOILET PARTITIONS TO BE REMOVED.
D5	EXISTING DOOR, FRAME, & HARDWARE TO BE REMOVED. (TYPICAL)
D6	EXISTING INTERIOR STUD WALL WITH GYPSUM BOARD TO BE REMOVED.
D8	REMOVE EXISTING FINISHES AND EMPTY OR ABANDONED CONDUITS, ETC FROM WALLS, CEILINGS, AND FLOORS.
D9	EXISTING ELECTRICAL FIXTURES TO BE REMOVED AND CAPPED. COORDINATE WITH ELECTRICAL.
D10	EXISTING PLUMBING FIXTURES TO BE REMOVED AND CAPPED. COORDINATE WITH PLUMBING DRAWINGS.
D11	COORDINATE WITH MECHANICAL DRAWINGS FOR ANY DEMOLITION TO THE MECHANICAL DUCTWORK, LOUVERS, AND EQUIPMENT
D12	EXISTING CEILING TILES AND CEILING GRIDS TO BE REMOVED.
D13	REMOVE EXISTING WATER FOUNTAINS AND BOTTLE FILERS. (TYPICAL)
D14	HATCHED REGION REPRESENTS EXISTING CONCRETE SLAB TO BE SAW CUT AND REMOVED 2'-0" FROM INSIDE OF THE EXISTING MASONRY WALLS.
D15	EXISTING VCT AND RUBBER BASE TO BE REMOVED.
D16	EXISTING QUARRY TILE TO REMAIN.
D18	CONTRACTOR TO REMOVE ANY BENCHES AND LOCKERS AND LOCKER CURBS.
D19	EXISTING RESTROOM ACCESSORIES TO BE REMOVED. (TYPICAL)
D20	EXISTING FIRE EXTINGUISHERS TO BE HANDLED OVER TO OWNER FOR STORAGE AND FIRE EXTINGUISHER CABINETS TO BE REMOVED. (TYPICAL)
D21	EXISTING DOOR AND HARDWARE TO BE REMOVED. EXISTING FRAME SHOULD REMAIN.
D22	EXISTING THERMOSTAT TO BE REMOVED. COORDINATE WITH MECHANICAL DRAWINGS.
D23	EXISTING COLUMNS TO REMAIN. PROTECT DURING DEMOLITION.
D24	EXISTING DOOR, FRAME, & HARDWARE TO REMAIN.
D25	CONTRACTOR SHALL PROVIDE AND INSTALL NEW WEATHER PROOF GAP OVER EXISTING CURBS WHERE EXHAUST FANS ARE REMOVED. CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND CONFIRM ALL LOCATIONS.

DEMOLITION PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- APPROXIMATE LIMITS OF EXISTING INTERIOR CONCRETE SLAB TO BE REMOVED
- EXISTING BUILDING ENVELOPE TO REMAIN
- EXISTING PLUMBING FIXTURES TO BE REMOVED
- AREAS NOT IN PROJECT SCOPE



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ADDENDUM # 1	04/17/24

Renovations to the Fredericka G. Evans Cultural Center
 Demolition Package

Bishop State Community College
 351 N. Broad St Mobile, AL 36603
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DEMOLITION FLOOR PLAN - 1ST FLOOR
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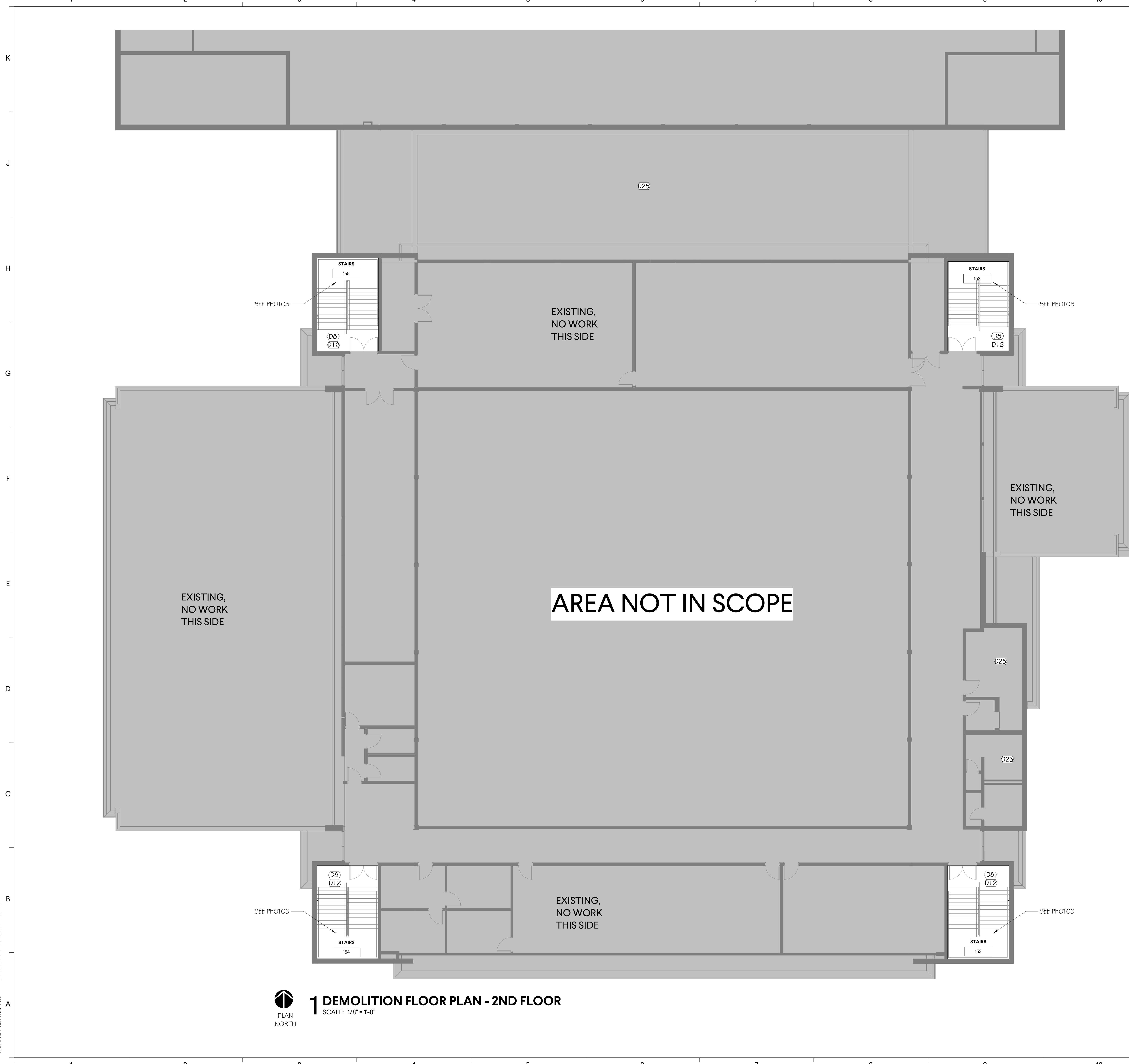
1 DEMOLITION FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 PLAN NORTH

SEE PHOTOS

SEE PHOTOS

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1 DEMOLITION FLOOR PLAN - 2ND FLOOR
SCALE: 1/8" = 1'-0"

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY EXCEPT FOR ITEMS THAT ARE CLEARLY IDENTIFIED PRIOR TO BIDDING AS SALVAGE. SALVAGED ITEMS (IF ANY) ARE TO BE REMOVED AND DELIVERED TO A LOCATION DESIGNATED BY THE OWNER.
- REFER TO ENGINEERING DRAWINGS FOR DEMOLITION OF PLUMBING MECHANICAL, AND ELECTRICAL WORK.
- CONTRACTOR(S) SHALL ENTIRELY REMOVE ALL ITEMS INDICATED TO BE REMOVED.
- PROTECT ALL FINISHES, EQUIPMENT, EXISTING INTERIOR AND EXTERIOR BUILDING AREAS AND SURFACES TO REMAIN.
- BURNING WILL NOT BE ALLOWED ONSITE.
- ALL WORK AND CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH SCHOOL ACTIVITIES AND TRAFFIC PATTERNS.
- REMOVE ALL CEILINGS, LIGHT FIXTURES, INSULATION, EMPTY OR ABANDONED CONDUITS, PIPING, SPACE HEATERS, DUCT WORK, EXHAUST FANS AND MOTORS, ELECTRICAL PANELS, AND ALL OTHER SWITCHES, DEVICES, EQUIPMENT, BLOCKING, ETC. THAT WILL NOT BECOME PART OF OR USED IN THE NEW CONSTRUCTION OR OPERATION OF THE NEW BUILDING. DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK OR AS DIRECTED BY THE ARCHITECT. COORDINATE WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE WEATHER TIGHTNESS OF THE BUILDING DURING THE REMOVAL AND REPLACEMENT OF THE ROOF TOP EQUIPMENT AND AT ALL TIMES DURING CONSTRUCTION FOR THE DURATION OF THE PROJECT. ANY DAMAGE TO EXISTING CONDITIONS SHALL BE REMOVED AND REPLACED WITH NEW, IMMEDIATELY AT NO COST TO THE OWNER. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS.
- THE CONTRACTOR SHALL PROTECT ALL LANDSCAPING, LAWNS, WALKWAYS, DRIVEWAYS, SIGNAGE, LIGHT FIXTURES, ELECTRICAL PANELS, ETC. DURING THE COURSE OF DEMOLITION AND CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REPLACED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF POWER OR OTHER UTILITIES.
- ALL EXISTING LOAD BEARING COLUMNS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

KEY NOTES - DEMOLITION

KEY	KEYNOTE
D1	EXISTING EXTERIOR STOREFRONT TO BE REMOVED. (TYPICAL)
D2	EXISTING WALL TO REMAIN.
D3	EXISTING CMU WALL TO BE REMOVED.
D4	EXISTING TOILET PARTITIONS TO BE REMOVED.
D5	EXISTING DOOR, FRAME, & HARDWARE TO BE REMOVED. (TYPICAL)
D6	EXISTING INTERIOR STUD WALL WITH GYPSUM BOARD TO BE REMOVED.
D6	REMOVE EXISTING FINISHES AND EMPTY OR ABANDONED CONDUITS, ETC FROM WALLS, CEILINGS, AND FLOORS.
D9	EXISTING ELECTRICAL FIXTURES TO BE REMOVED AND CAPPED. COORDINATE WITH ELECTRICAL.
D10	EXISTING PLUMBING FIXTURES TO BE REMOVED AND CAPPED. COORDINATE WITH PLUMBING DRAWINGS.
D11	COORDINATE WITH MECHANICAL DRAWINGS FOR ANY DEMOLITION TO THE MECHANICAL DUCTWORK, LOUVERS, AND EQUIPMENT
D12	EXISTING CEILING TILES AND CEILING GRIDS TO BE REMOVED.
D13	REMOVE EXISTING WATER FOUNTAINS AND BOTTLE FILLS. (TYPICAL)
D14	HATCHED REGION REPRESENTS EXISTING CONCRETE SLAB TO BE SAW CUT AND REMOVED 2'-0" FROM INSIDE OF THE EXISTING MASONRY WALLS.
D15	EXISTING VCT AND RUBBER BASE TO BE REMOVED.
D16	EXISTING QUARRY TILE TO REMAIN.
D18	CONTRACTOR TO REMOVE ANY BENCHES AND LOCKERS AND LOCKER CURBS.
D19	EXISTING RESTROOM ACCESSORIES TO BE REMOVED. (TYPICAL)
D20	EXISTING FIRE EXTINGUISHERS TO BE HANDED OVER TO OWNER FOR STORAGE AND FIRE EXTINGUISHER CABINETS TO BE REMOVED. (TYPICAL)
D21	EXISTING DOOR AND HARDWARE TO BE REMOVED. EXISTING FRAME SHOULD REMAIN.
D22	EXISTING THERMOSTAT TO BE REMOVED. COORDINATE WITH MECHANICAL DRAWINGS.
D23	EXISTING COLUMNS TO REMAIN. PROTECT DURING DEMOLITION.
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DEMOLITION PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- APPROXIMATE LIMITS OF EXISTING INTERIOR CONCRETE SLAB TO BE REMOVED
- EXISTING BUILDING ENVELOPE TO REMAIN
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- AREAS NOT IN PROJECT SCOPE

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04/17/24		

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ADDENDUM # 1 04/17/24

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DEMOLITION FLOOR PLAN - 2ND FLOOR

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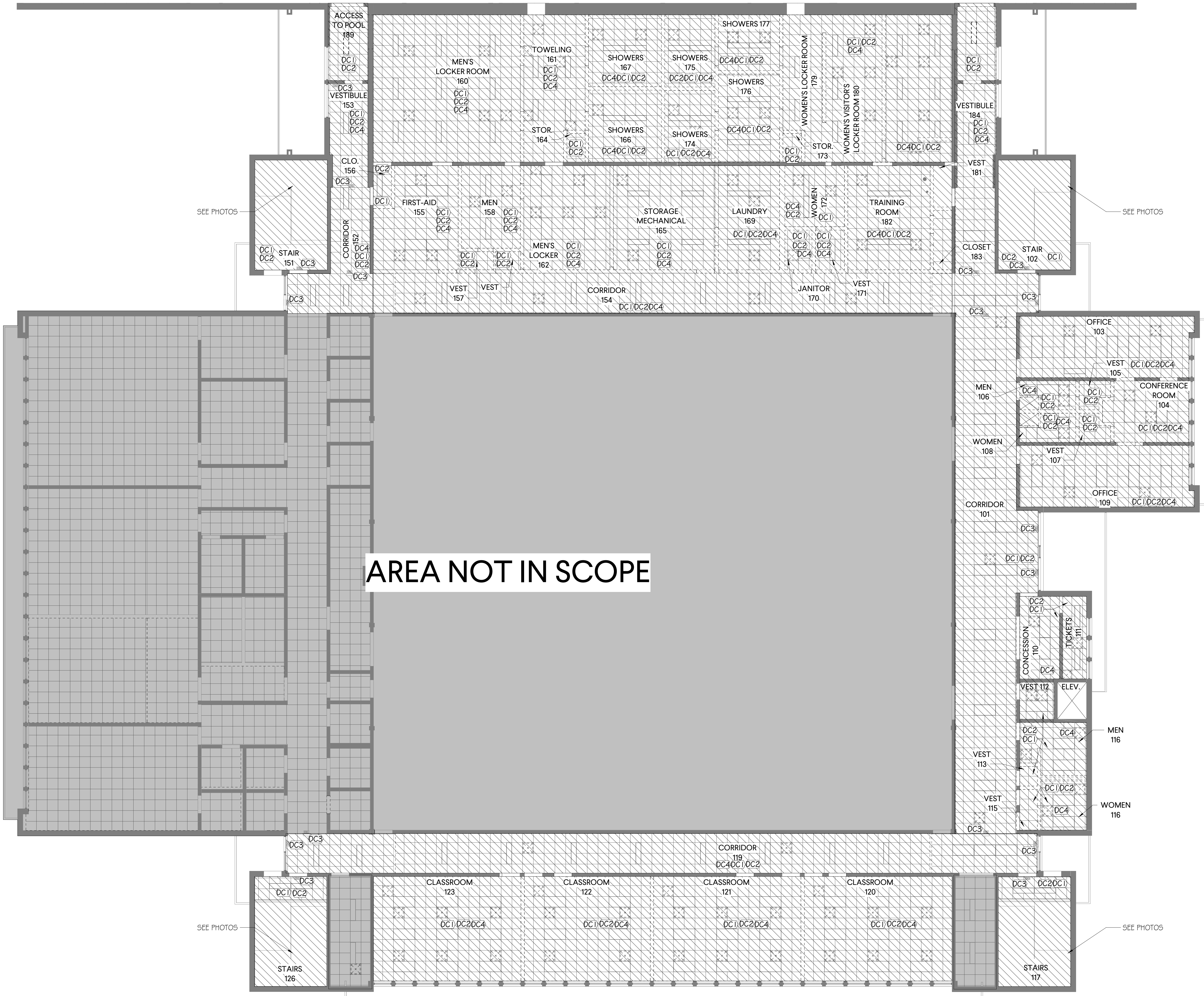
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 PLAN NORTH
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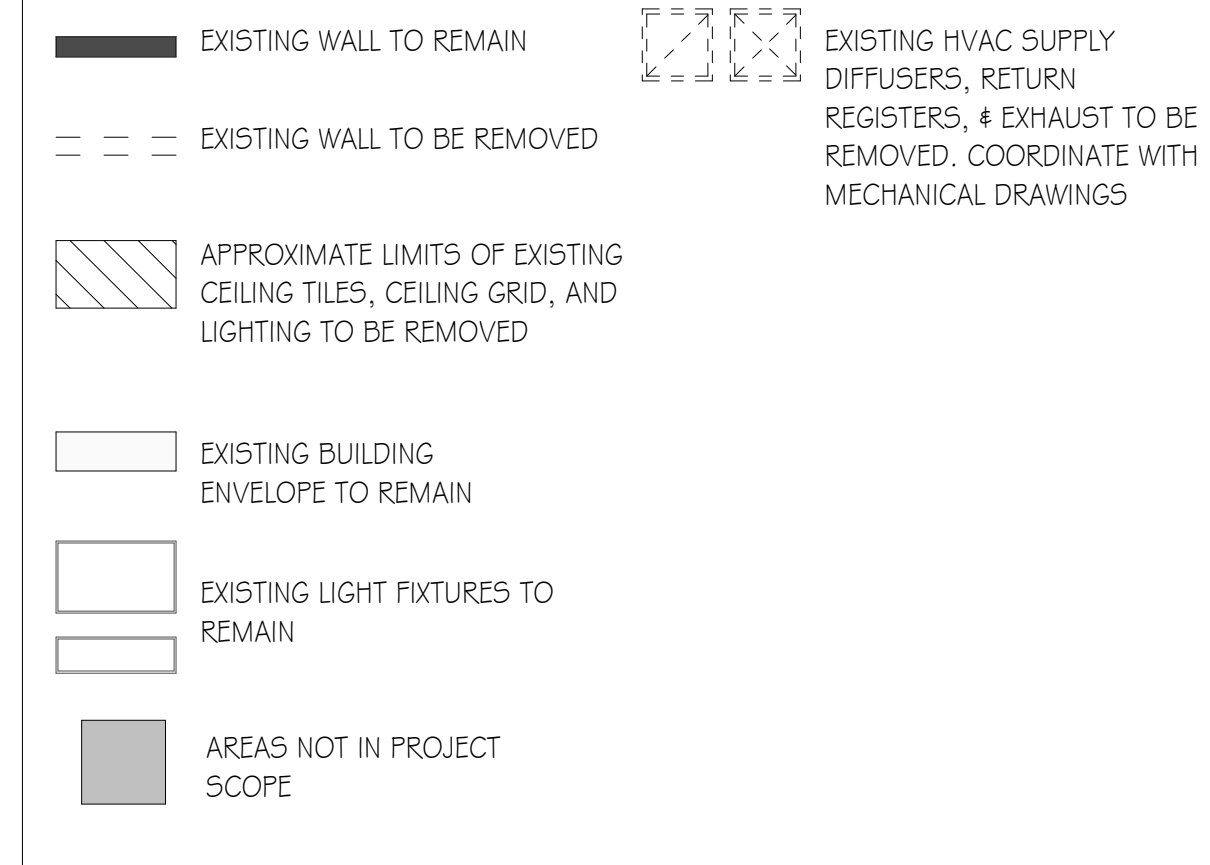
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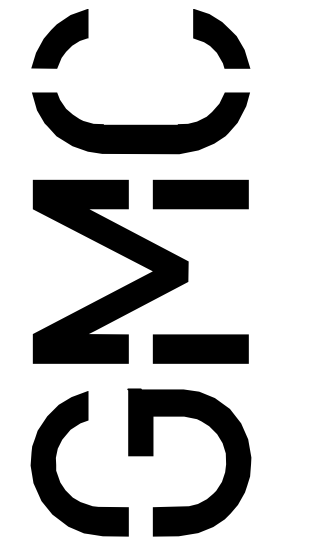
DEMOLITION REFLECTED CEILING PLAN NOTES

- REMOVE EXISTING CEILING SYSTEMS; INCLUDE ALL FINISHED CEILING AND ALL ASSOCIATED PARTS AS NOTED ON REFLECTED CEILING PLANS.
- EXISTING LIGHT FIXTURES IN EXISTING CEILINGS TO REMAIN. COORDINATE WITH ELECTRICAL DOCUMENTS FOR ELECTRICAL DEMOLITION.
- COORDINATE WITH MECHANICAL DOCUMENTS REGARDING MECHANICAL DEMOLITION.
- DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION AND WHAT SHOULD BE DEMOLISHED.

DEMOLITION RCP LEGEND



KEY NOTES - DEMOLITION RCP	
KEY	KEYNOTE
DC1	REMOVE EXISTING CEILING TILE AND GRID.
DC2	EXISTING LIGHTING TO REMAIN DURING DEMOLITION PHASE.
DC3	EXISTING EXIT LIGHTING TO REMAIN DURING DEMOLITION PHASE.
DC4	COORDINATE WITH MECHANICAL DRAWINGS FOR EXISTING MECHANICAL EQUIPMENT AND RETURN AND SUPPLY DIFFUSERS THAT WILL BE DEMOLISHED.



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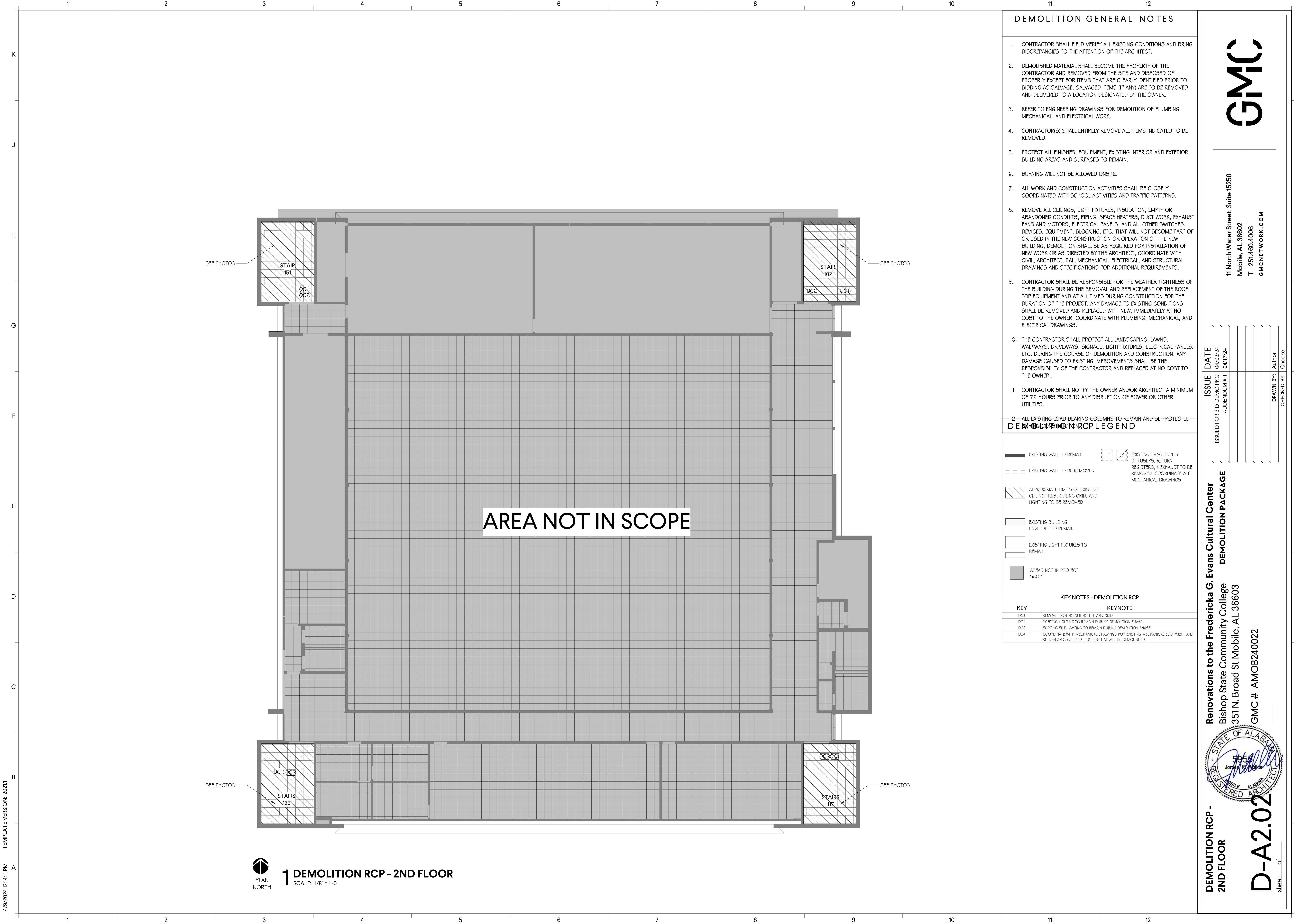
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DEMOLITION RCP - 1ST FLOOR
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1 DEMOLITION RCP - 2ND FLOOR
SCALE: 1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
2. DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY EXCEPT FOR ITEMS THAT ARE CLEARLY IDENTIFIED PRIOR TO BIDDING AS SALVAGE. SALVAGED ITEMS (IF ANY) ARE TO BE REMOVED AND DELIVERED TO A LOCATION DESIGNATED BY THE OWNER.
3. REFER TO ENGINEERING DRAWINGS FOR DEMOLITION OF PLUMBING MECHANICAL, AND ELECTRICAL WORK.
4. CONTRACTOR(S) SHALL ENTIRELY REMOVE ALL ITEMS INDICATED TO BE REMOVED.
5. PROTECT ALL FINISHES, EQUIPMENT, EXISTING INTERIOR AND EXTERIOR BUILDING AREAS AND SURFACES TO REMAIN.
6. BURNING WILL NOT BE ALLOWED ONSITE.
7. ALL WORK AND CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH SCHOOL ACTIVITIES AND TRAFFIC PATTERNS.
8. REMOVE ALL CEILINGS, LIGHT FIXTURES, INSULATION, EMPTY OR ABANDONED CONDUITS, PIPING, SPACE HEATERS, DUCT WORK, EXHAUST FANS AND MOTORS, ELECTRICAL PANELS, AND ALL OTHER SWITCHES, DEVICES, EQUIPMENT, BLOCKING, ETC. THAT WILL NOT BECOME PART OF OR USED IN THE NEW CONSTRUCTION OR OPERATION OF THE NEW BUILDING. DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK OR AS DIRECTED BY THE ARCHITECT. COORDINATE WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
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10. THE CONTRACTOR SHALL PROTECT ALL LANDSCAPING, LAWNS, WALKWAYS, DRIVEWAYS, SIGNAGE, LIGHT FIXTURES, ELECTRICAL PANELS, ETC. DURING THE COURSE OF DEMOLITION AND CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REPLACED AT NO COST TO THE OWNER.
11. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF POWER OR OTHER UTILITIES.

DEMOLITION RCP LEGEND

	EXISTING WALL TO REMAIN		EXISTING HVAC SUPPLY DIFFUSERS, RETURN REGISTERS, & EXHAUST TO BE REMOVED. COORDINATE WITH MECHANICAL DRAWINGS
	EXISTING WALL TO BE REMOVED		APPROXIMATE LIMITS OF EXISTING CEILING TILES, CEILING GRID, AND LIGHTING TO BE REMOVED
	EXISTING BUILDING ENVELOPE TO REMAIN		EXISTING LIGHT FIXTURES TO REMAIN
	AREAS NOT IN PROJECT SCOPE		

KEY NOTES - DEMOLITION RCP	
KEY	KEYNOTE
DC1	REMOVE EXISTING CEILING TILE AND GRID.
DC2	EXISTING LIGHTING TO REMAIN DURING DEMOLITION PHASE.
DC3	EXISTING EXIT LIGHTING TO REMAIN DURING DEMOLITION PHASE.
DC4	COORDINATE WITH MECHANICAL DRAWINGS FOR EXISTING MECHANICAL EQUIPMENT AND RETURN AND SUPPLY DIFFUSERS THAT WILL BE DEMOLISHED

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DEMOLITION RCP - 2ND FLOOR
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EXISTING FLOOR FINISH & WALL BASE TO BE REMOVED, TYPICAL
EXISTING QUARRY TILE TO REMAIN.
EXISTING WALL BASE TO BE REMOVED.

1.1- EXISTING FLOORING IN CORRIDOR



EXISTING CEILING TILES AND GRIDS TO BE REMOVED
EXISTING LIGHTING TO REMAIN.
COORDINATE MECHANICAL DEMOLITION WITH MECHANICAL DRAWINGS
EXISTING LOCKERS & CURB TO BE REMOVED.
EXISTING FLOOR FINISH & WALL BASE TO BE REMOVED. SOME SLAB IN LOCKER ROOM WILL BE SAW CUT. COORDINATE WITH DEMO PLAN FOR LOCATION. TYPICAL

1.2 - EXISTING LOCKER ROOM



EXISTING CEILING TILES AND GRIDS TO BE REMOVED; TYPICAL
EXISTING LIGHTING TO REMAIN.
EXISTING FLOOR FINISH AND WALL BASE TO BE REMOVED. SOME SLAB IN LOCKER ROOMS WILL BE SAW CUT. COORDINATE WITH DEMO PLAN FOR LOCATION. TYPICAL.

1.3 - EXISTING LOCKER ROOM



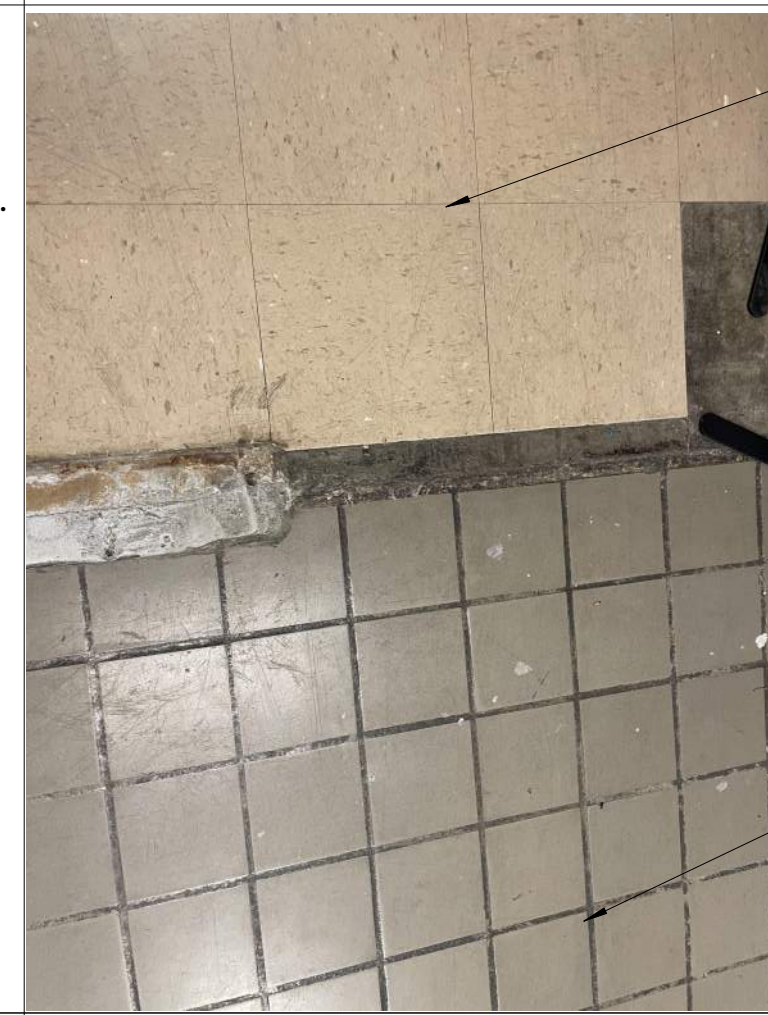
EXISTING FIRE ALARM SYSTEM TO REMAIN IN PLACE AND ACTIVE, TYPICAL
EXISTING INTERIOR NON-LOADING WALL TO BE REMOVED, TYPICAL. COORDINATE WITH DEMO PLAN FOR LOCATIONS.
EXISTING PLUMBING TO BE REMOVED AND CAPPED; TYPICAL. COORDINATE WITH PLUMBING DRAWINGS.

1.4 - EXISTING LOCKER ROOM SHOWERS



EXISTING DOORS AND HARDWARE TO BE REMOVED. SOME FRAMES WILL REMAIN. COORDINATE WITH DEMO PLAN.
EXISTING NON-LOAD BEARING WALL TO BE REMOVED. COORDINATE WITH DEMO PLAN.
EXISTING BOTTLE FILLER & WATER FOUNTAINS TO BE REMOVED AND CAPPED, TYPICAL. COORDINATE WITH PLUMBING DRAWINGS.
EXISTING VCT FLOORING & WALL BASE TO BE REMOVED.

1.5 - EXISTING WATER BOTTLE COOLER



REMOVE EXISTING VCT FLOORING
EXISTING INTERIOR NON-LOADING WALL TO BE REMOVED, TYPICAL. COORDINATE WITH DEMO PLAN.
EXISTING DOOR AND HARDWARE TO BE REMOVED. SOME DOOR FRAMES WILL REMAIN. COORDINATE WITH DEMO PLAN FOR LOCATIONS.
EXISTING QUARRY TILE TO REMAIN.

1.6 - EXISTING VCT TO QUARRY TILE TRANSITION



EXISTING FIRE SPRINKLER SYSTEM TO REMAIN IN PLACE AND ACTIVE
EXISTING FIRE ALARM SYSTEM TO REMAIN IN PLACE AND ACTIVE, TYPICAL
EXISTING PARTIAL WALL AND CONDUITS TO BE REMOVED. COORDINATE WITH ELECTRICAL DRAWINGS
EXISTING BENCHES TO BE REMOVED
EXISTING FLOOR FINISH AND WALL BASE TO BE REMOVED. SOME OF THE SLAB IN THE LOCKER ROOMS WILL BE SAW CUT. COORDINATE WITH THE DEMO PLAN FOR LOCATIONS, TYPICAL

1.7 - EXISTING LOCKER ROOM



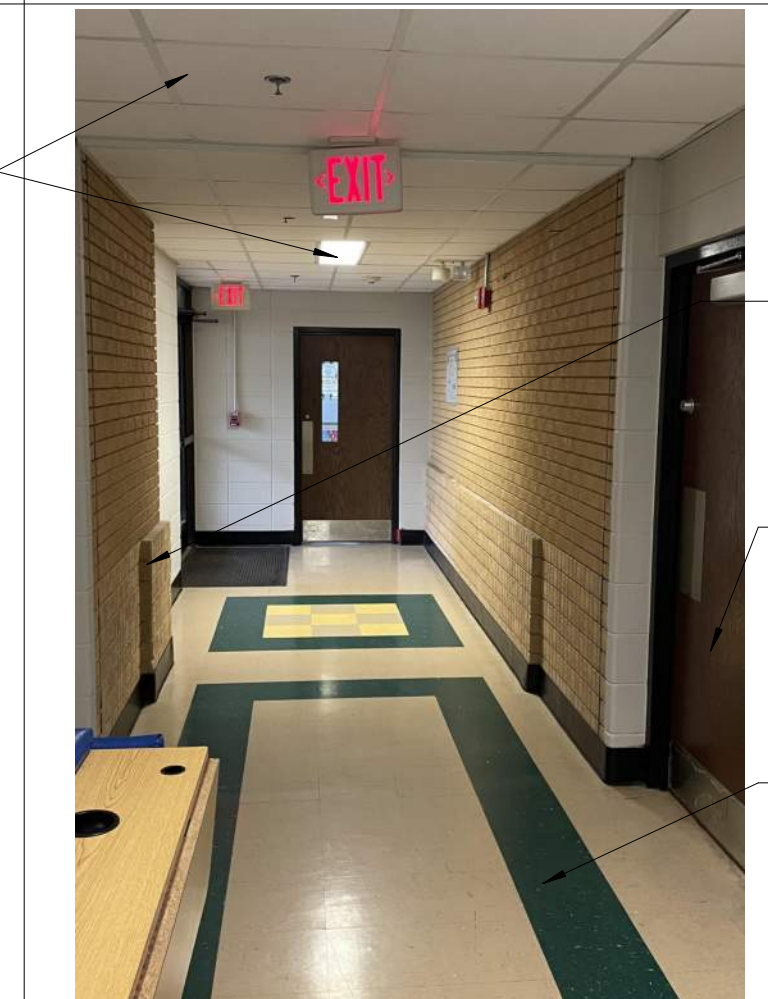
EXISTING INTERIOR LOAD BEARING WALL TO REMAIN.
EXISTING DOORS AND HARDWARE TO BE REMOVED, TYPICAL SOME DOOR FRAMES TO REMAIN. COORDINATE WITH DEMO PLAN FOR LOCATIONS.
EXISTING VCT FLOORING & WALL BASE TO BE REMOVED.

1.8 - EXISTING CORRIDOR



EXISTING CEILING TILES AND GRIDS TO BE REMOVED. EXISTING LIGHTING TO REMAIN.
EXISTING NON-LOADBEARING WALLS TO BE REMOVED. COORDINATE WITH DEMO DRAWINGS.
EXISTING EQUIPMENT TO BE REMOVED AND STORED IN A SEPARATE AREA. COORDINATE WITH OWNER ON STORAGE LOCATION
EXISTING CURB TO BE REMOVED
EXISTING FLOORING & WALL BASE TO BE REMOVED

1.9 - EXISTING LAUNDRY ROOM



EXISTING RESTROOM ACCESSORIES TO BE REMOVED, TYPICAL.
EXISTING BRICK FINISH TO BE REMOVED
EXISTING DOOR AND HARDWARE TO BE REMOVED. SOME DOOR FRAMES TO REMAIN. COORDINATE WITH DEMO PLAN FOR LOCATIONS.
EXISTING VCT & RUBBER BASE TO BE REMOVED

1.10- EXISTING CORRIDOR



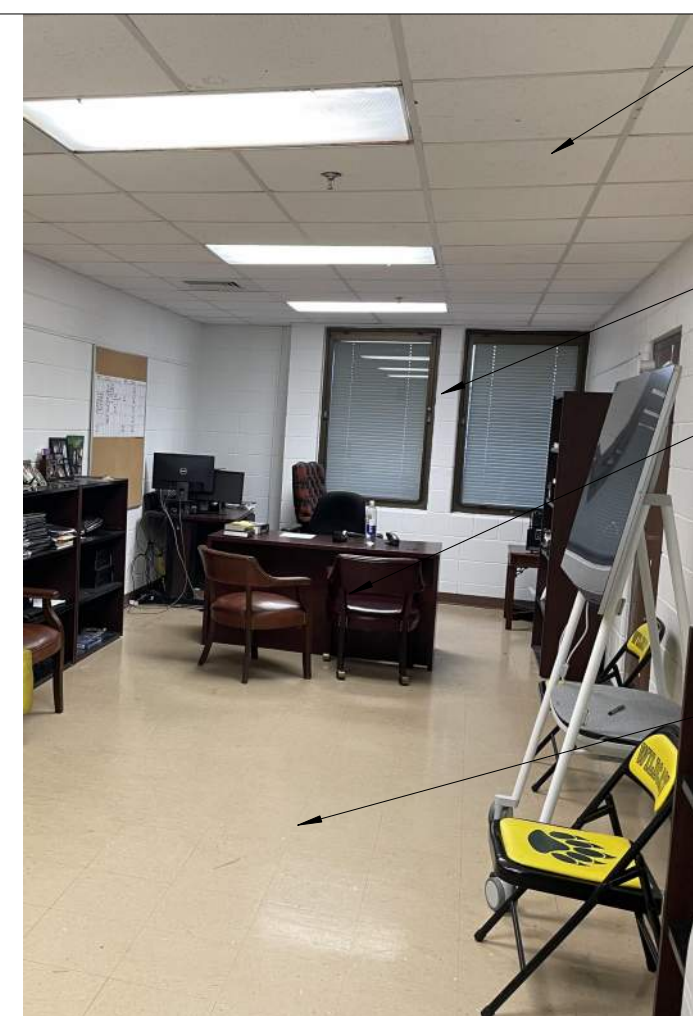
EXISTING DOORS & HARDWARE TO BE REMOVED, TYPICAL. SOME DOOR FRAMES TO REMAIN. COORDINATE WITH DEMO PLAN FOR LOCATIONS.
EXISTING INTERIOR NON-LOADING WALL TO BE REMOVED, TYPICAL. COORDINATE WITH DEMO PLAN FOR LOCATIONS.
EXISTING PLUMBING AND FIXTURES TO BE REMOVED & CAPPED; TYPICAL. COORDINATE WITH PLUMBING DRAWINGS.
EXISTING FLOOR FINISH & WALL BASE TO BE REMOVED. SOME RESTROOM SLABS WILL BE SAW CUT. COORDINATE LOCATIONS WITH DEMO PLAN.

1.11 - EXISTING RESTROOM



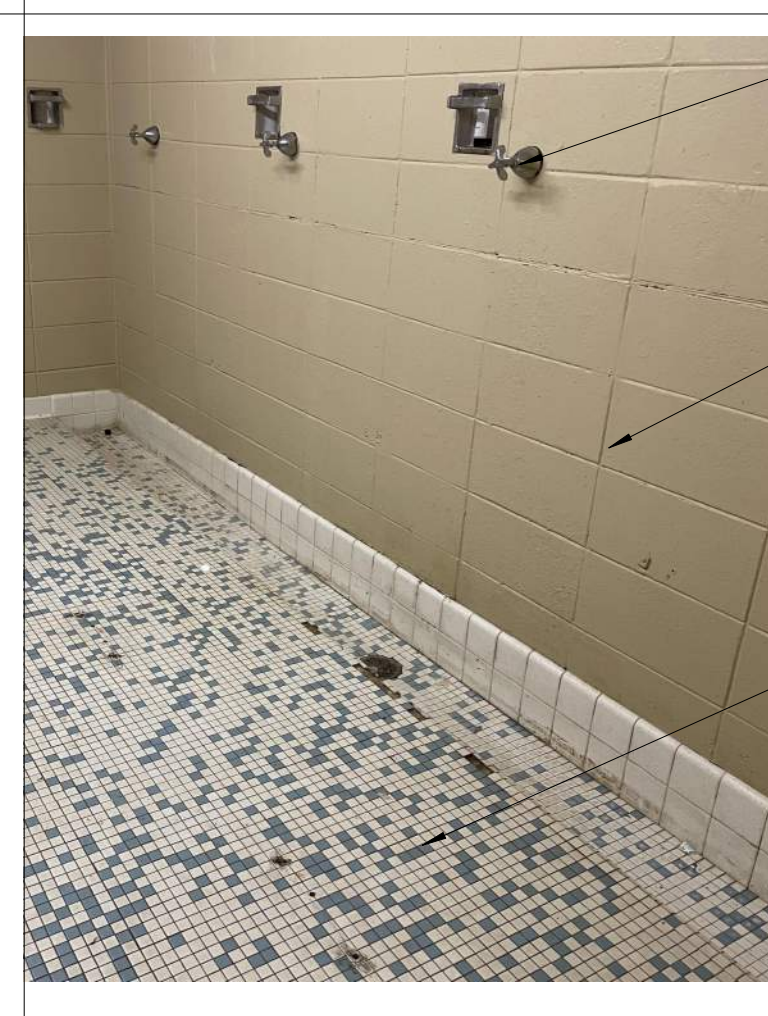
EXISTING TOILET PARTITIONS TO BE REMOVED, TYPICAL
EXISTING RESTROOM ACCESSORIES TO BE REMOVED, TYPICAL
EXISTING PLUMBING FIXTURE TO BE REMOVED AND CAPPED, COORDINATE WITH PLUMBING DRAWINGS, TYPICAL.

1.12 - EXISTING RESTROOM



REMOVE EXISTING CEILING TILES AND GRIDS. EXISTING LIGHTING TO REMAIN, TYPICAL.
EXISTING EXTERIOR WALL TO REMAIN AND PROTECT.
OWNER TO REMOVE ALL FURNITURE. CONTRACTOR TO REMOVE ANY REMAINING FURNITURE, TYPICAL. COORDINATE WITH OWNER FOR STORAGE LOCATION
REMOVE EXISTING FLOORING FINISH & WALL BASE.

1.13 - EXISTING OFFICE



ALL EXISTING PLUMBING IN SHOWERS TO BE REMOVED AND CAPPED; TYPICAL. COORDINATE WITH PLUMBING DRAWINGS.
REMOVE EXISTING INTERIOR NON-LOAD BEARING WALLS. COORDINATE WITH DEMO PLANS.
REMOVE EXISTING FLOORING TILE AND WALL BASE. THE SLAB IN SOME AREAS OF THE SHOWERS WILL BE SAW CUT. COORDINATE WITH DEMO FLOOR PLAN FOR SAW CUT EXTENTS; TYPICAL

1.14- EXISTING SHOWER



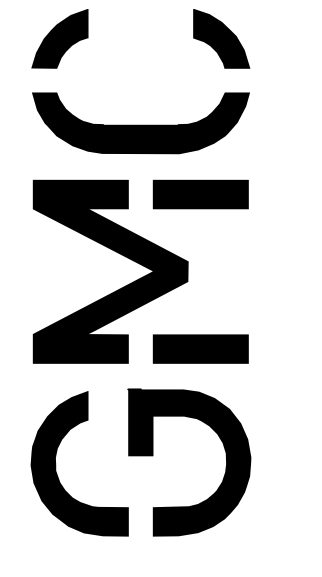
EXISTING EXIT LIGHTS TO REMAIN.
EXISTING STOREFRONT TO REMAIN
ANY REMAINING PLAQUES OR WALL ART TO BE REMOVED AND HANDED OVER TO OWNER FOR STORAGE.
REMOVE EXISTING FIRE EXTINGUISHERS & HAND OVER TO OWNER FOR STORAGE AND REMOVE EXISTING FIRE EXTINGUISHER CABINETS; TYPICAL
EXISTING QUARRY TILE TO REMAIN.
EXISTING WALL BASE TO BE REMOVED.

1.15 - EXISTING STOREFRONT ENTRY



EXISTING CEILING TILES AND GRIDS TO BE REMOVED. EXISTING LIGHTING TO REMAIN.
EXISTING MONITORS TO BE REMOVED AND HANDED OVER TO OWNER FOR STORAGE; TYPICAL.
EXISTING DOORS, AND HARDWARE TO BE REMOVED AND DOOR FRAMES WILL REMAIN. COORDINATE WITH DEMO PLAN FOR LOCATIONS; TYPICAL.
EXISTING WATER COOLER AND BOTTLE FILLERS TO BE REMOVED, TYPICAL.


1.16 - EXISTING CORRIDOR



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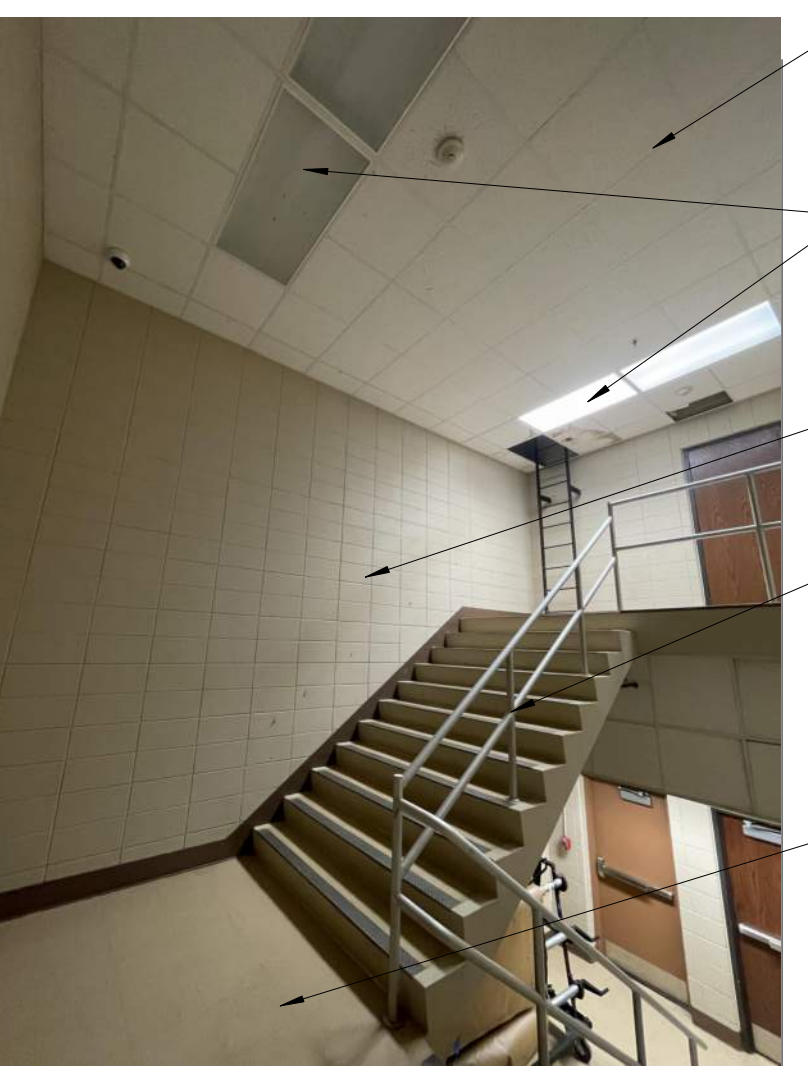
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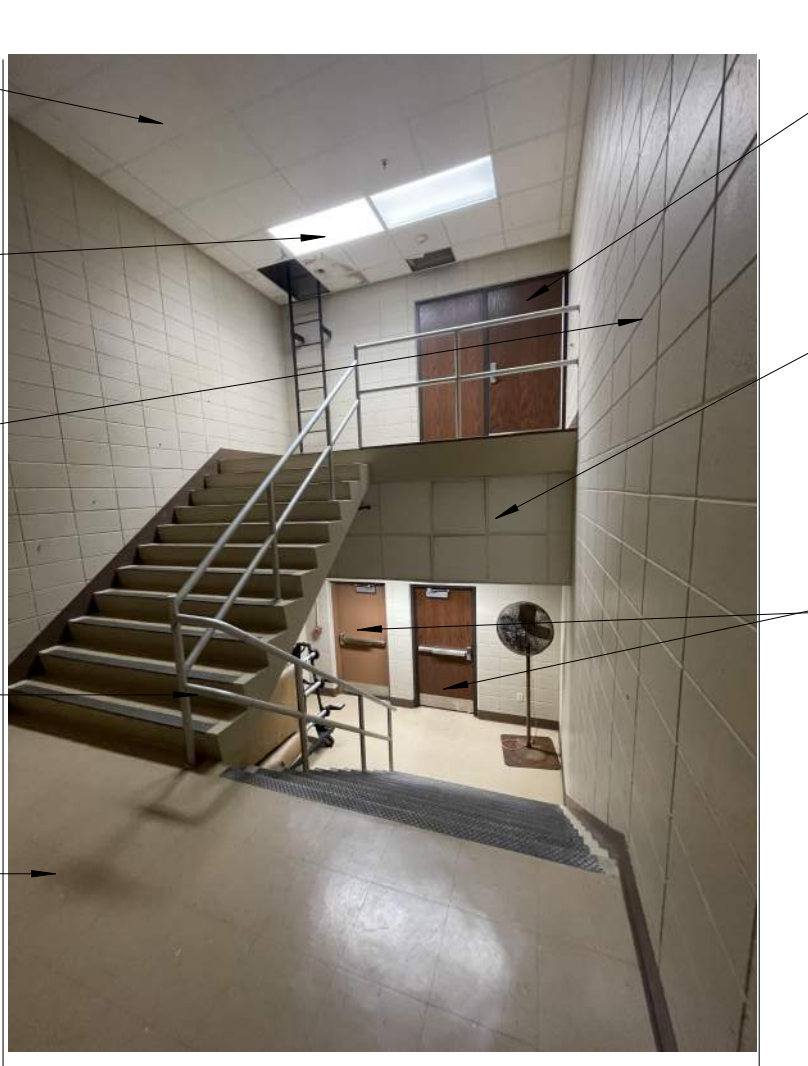
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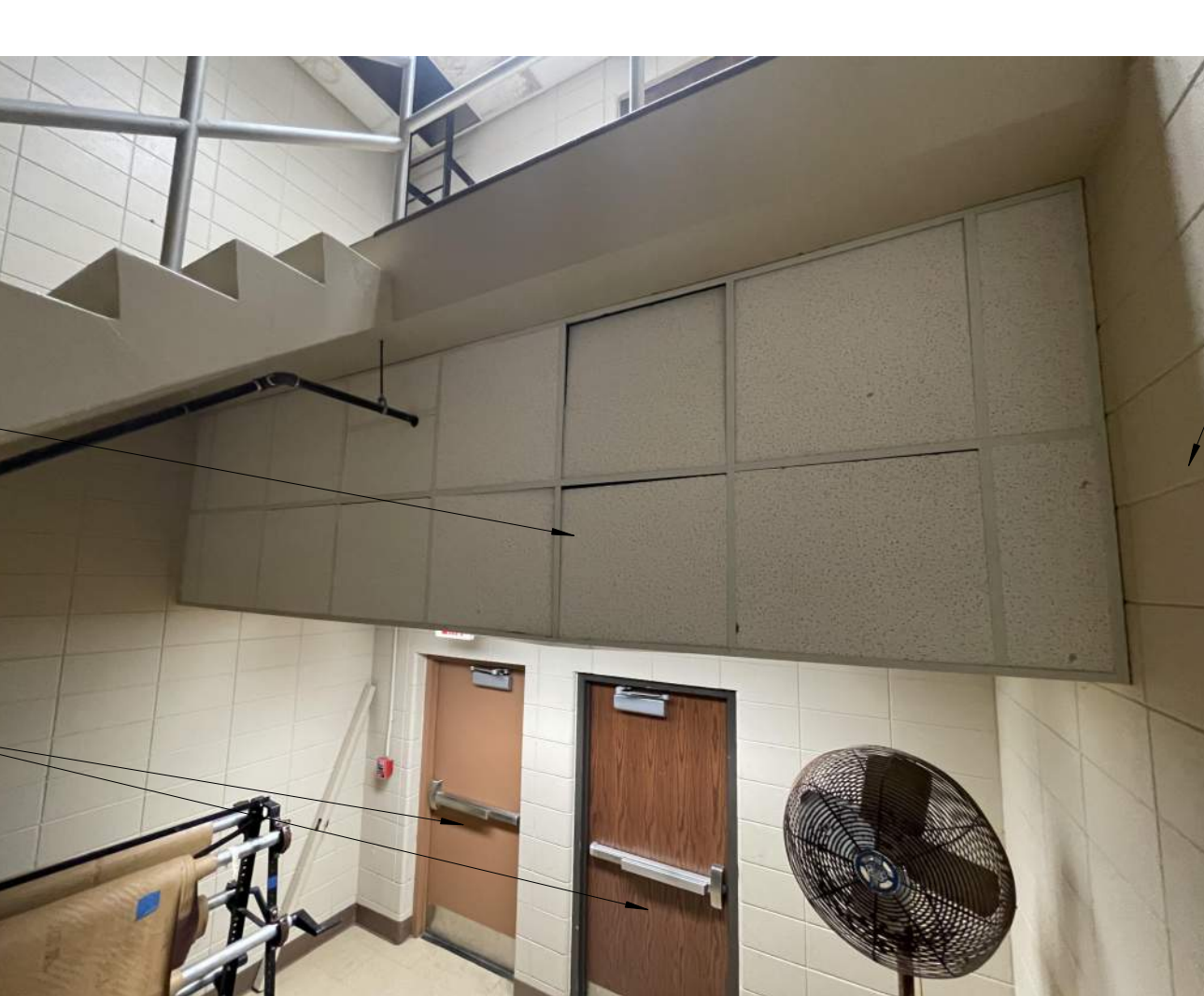
REMOVE CEILING GRID AND TILES; TYPICAL
EXISTING LIGHTING TO REMAIN; TYPICAL
WALLS TO REMAIN; TYPICAL
EXISTING RAILING TO REMAIN DURING DEMOLITION PHASE. WILL REPLACE RAILING IN NEW WORK PACKAGE.
EXISTING VCT AND BASE TO BE REMOVED.

2.1 TYPICAL EXISTING STAIR



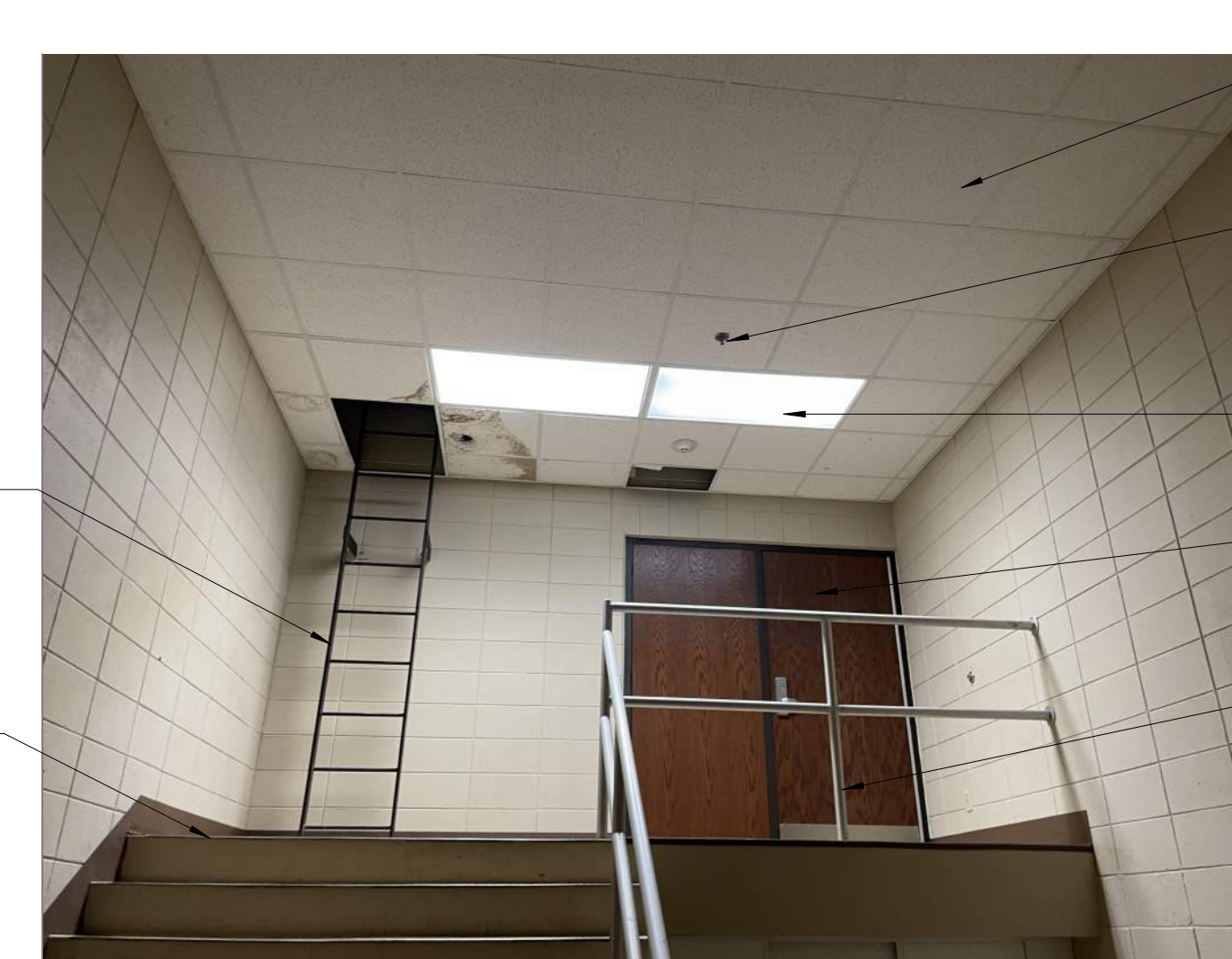
EXISTING SECOND FLOOR DOOR TO REMAIN; TYPICAL
EXISTING CEILING TILE AND GRID TO BE REMOVED; TYPICAL
REMOVE DOOR AND HARDWARE. DOOR FRAMES ARE TO REMAIN; COORDINATE WITH DEMO PLAN.

2.2 TYPICAL EXISTING STAIR



EXISTING WALLS TO REMAIN; COORDINATE WITH DEMO PLAN
EXISTING ROOF ACCESS LADDER TO REMAIN. CONTRACTOR TO PROTECT DURING DEMOLITION.
STAIR NOSING SHALL REMAIN

2.3 TYPICAL EXISTING STAIR



EXISTING CEILING TILES AND GRID TO BE REMOVED
FIRE SPRINKLER AND ALARM SYSTEM TO REMAIN AND STAY ACTIVE; TYPICAL
EXISTING LIGHTING TO REMAIN.
SECOND FLOOR DOOR TO REMAIN; TYP
EXISTING RAILING TO REMAIN DURING DEMOLITION PHASE

2.4 TYPICAL EXISTING STAIR



EXISTING BATHROOM ACCESSORIES TO BE REMOVED
EXISTING BATHROOM FINISHES TO BE REMOVED
EXISTING PLUMBING FIXTURES TO BE REMOVED AND CAPPED; COORDINATE WITH PLUMBING
EXISTING TILE FLOORING TO BE REMOVED

2.5 EXISTING BATHROOM ACCESSORIES



2.6 EXISTING BATHROOM ACCESSORIES



57" FROM BOTTOM OF CEILING TO BOTTOM OF ROOF DECKING; F.V.
37" FROM BOTTOM OF CEILING TO BOTTOM OF TRUSS; F.V.

EXISTING LIGHTING TO REMAIN.
EXISTING LOAD BEARING WALL TO REMAIN.
COORDINATE ALL ABOVE CEILING INFORMATION WITH MFPF AND ELECTRICAL ENGINEERS

2.7 EXISTING ABOVE CEILING SPACE



EXISTING CEILING TILES AND GRID TO BE REMOVED
EXISTING PLUMBING FAUCET SHALL BE REMOVED AND CAPPED; COORDINATE WITH PLUMBING
EXISTING PIPING IN TRAINING ROOM TO REMAIN AND SHALL BE PROTECTED DURING DEMOLITION.
EXISTING FLOOR FINISH & WALL BASE TO BE REMOVED, TYPICAL. SOME FLOOR SLABS WILL BE SAW CUT. COORDINATE WITH DEMO PLAN FOR LOCATION, TYPICAL.

2.8 EXISTING TRAINING ROOM



VERIFY WITH FIRE MARSHAL FOR APPROVAL ON REMOVING HOSE REEL CABINETS

2.9 EXISTING TYPICAL HOSE CABINET



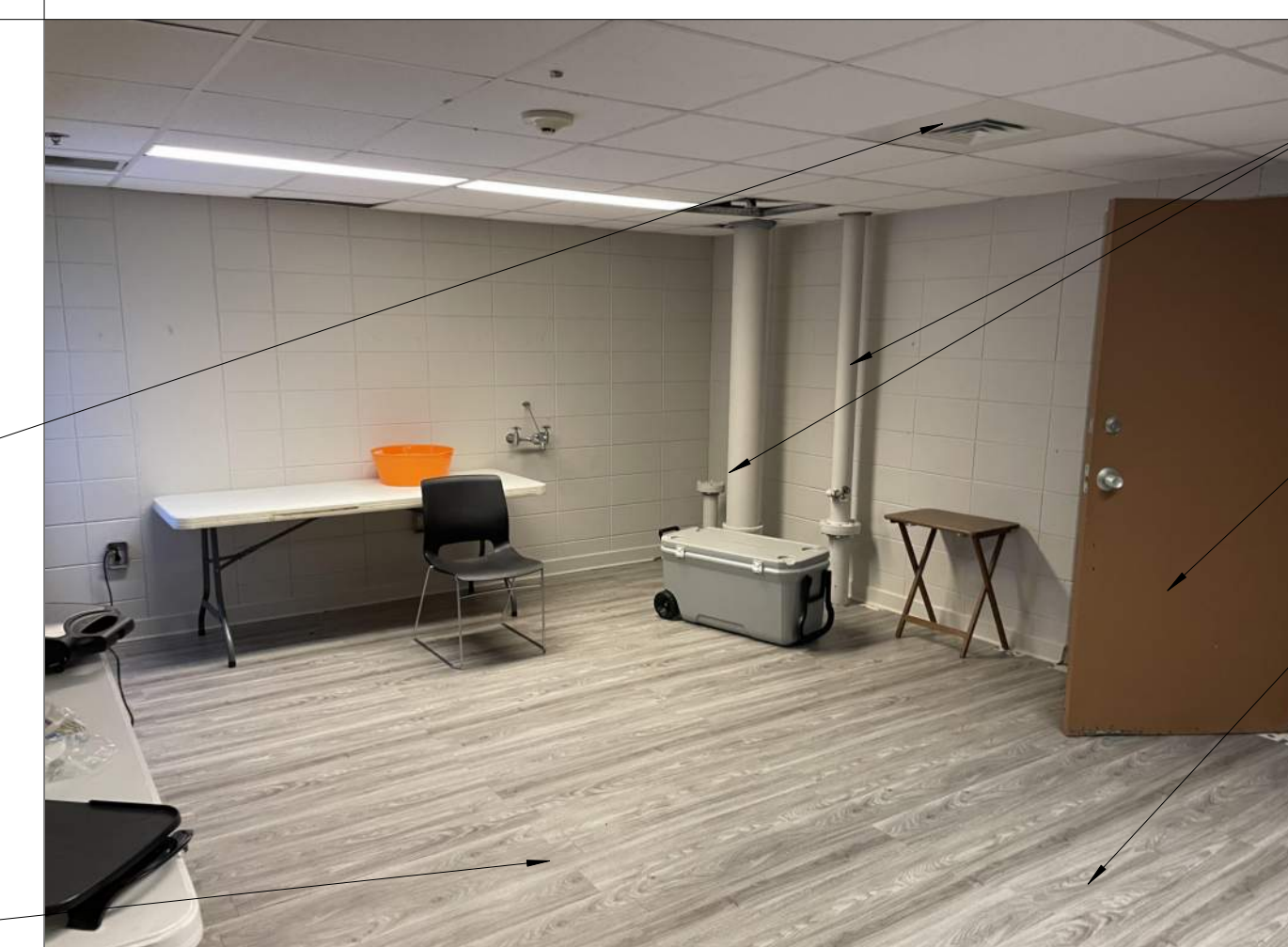
2.10 EXISTING VENDING

CONTRACTOR TO HAND OVER VENDING MACHINES TO THE OWNER FOR STORAGE.
REMOVE DOOR AND HARDWARE. SOME DOOR FRAMES ARE TO REMAIN; COORDINATE WITH DEMO PLAN.
EXISTING VCT FLOORING AND WALL BASE TO BE REMOVED



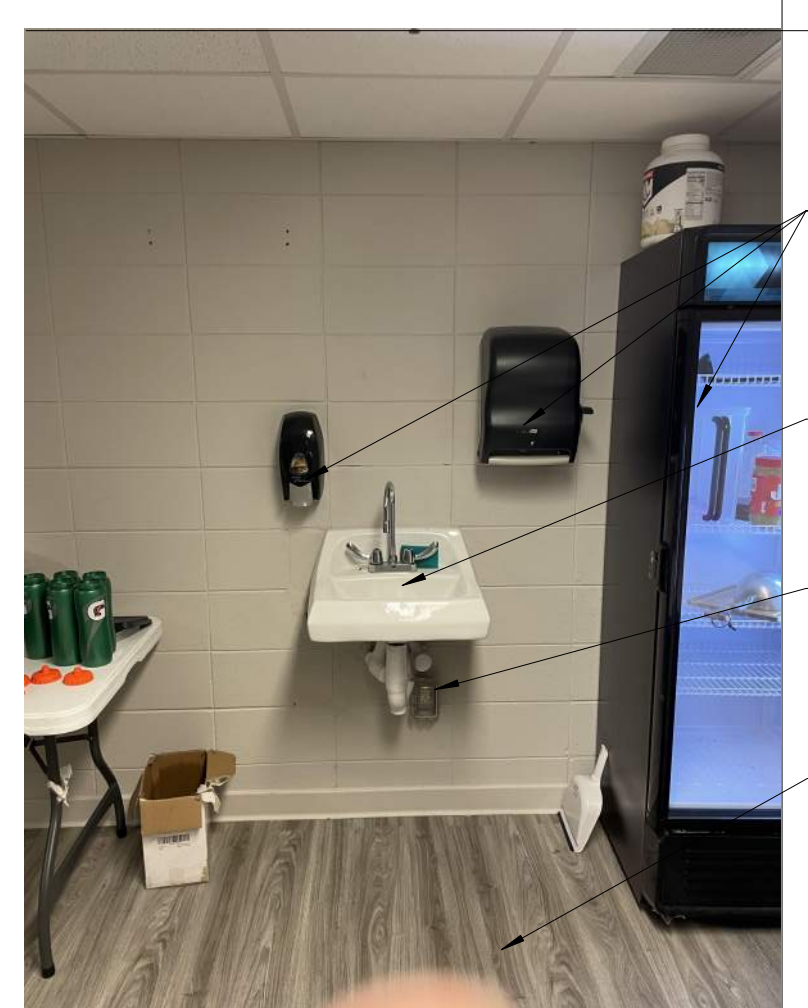
2.11 EXISTING LOCKER ROOM

EXISTING CEILING TILES AND GRIDS TO BE REMOVED. EXISTING LIGHTING TO REMAIN;
COORDINATE MECHANICAL DEMOLITION WITH MECHANICAL DRAWINGS
EXISTING LOCKERS & CURB TO BE REMOVED.
EXISTING FLOOR FINISH AND WALL BASE TO BE REMOVED. SOME OF THE SLAB IN THE LOCKER ROOMS WILL BE SAW CUT. COORDINATE WITH THE DEMO PLAN FOR LOCATIONS, TYPICAL



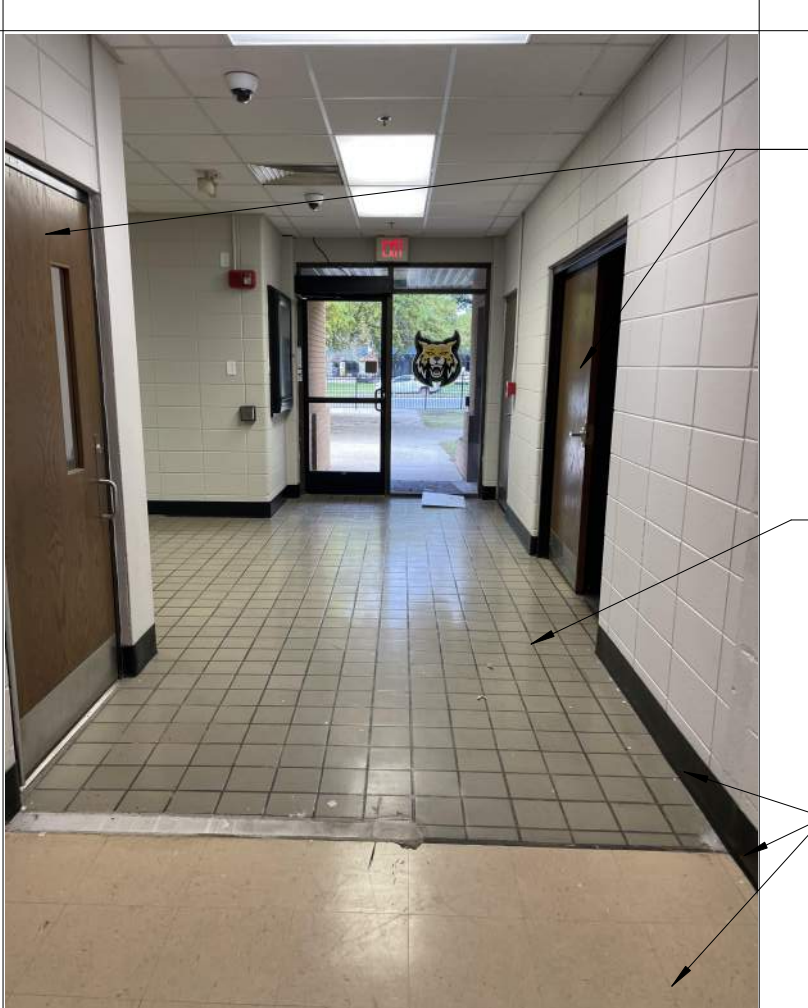
EXISTING PIPING IN TRAINING ROOM TO REMAIN AND SHALL BE PROTECTED DURING DEMOLITION.
REMOVE EXISTING DOOR, HARDWARE. SOME DOOR FRAMES REMAIN COORDINATE WITH DEMO PLAN.
EXISTING FLOOR FINISH & WALL BASE TO BE REMOVED, SOME FLOOR SLAB WILL BE SAW CUT. COORDINATE WITH DEMO PLAN FOR LOCATION, TYPICAL

2.12 EXISTING TRAINING ROOM



REMOVE EXISTING ACCESSORIES AND REFRIGERATOR. HAND OVER REFRIGERATOR TO OWNER FOR STORAGE.
REMOVE EXISTING PLUMBING FIXTURES & CAP; COORDINATE WITH PLUMBING
REMOVE EXISTING ELECTRICAL CONDUIT & CAP; COORDINATE WITH ELECTRICAL
EXISTING FLOOR FINISH & WALL BASE TO BE REMOVED, SOME FLOOR SLAB WILL BE SAW CUT. COORDINATE WITH DEMO PLAN FOR LOCATION, TYPICAL

2.13 EXISTING TRAINING ROOM



2.14 EXISTING VCT TO QUARRY TILE TRANSITION

REMOVE DOOR AND HARDWARE. SOME DOOR FRAMES ARE TO REMAIN; COORDINATE WITH DEMO PLAN.
EXISTING QUARRY TILE TO REMAIN.
EXISTING VCT FLOORING & WALL BASE TO BE REMOVED.



2.15 EXISTING POOL TRANSITION DOOR

REMOVE DOOR AND HARDWARE. SOME DOOR FRAMES ARE TO REMAIN; COORDINATE WITH DEMO PLAN.



EXISTING LOAD BEARING WALL TO REMAIN.

2.16 EXISTING LOAD BEARING WALL ABOVE CEILING

EXISTING CONDITIONS

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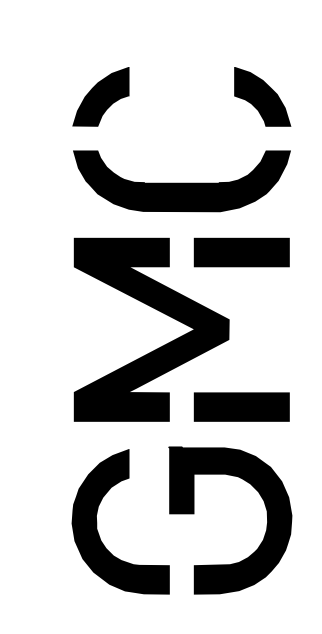
Renovations to the Fredericka G. Evans Cultural Center
Bishop State Community College
351 N. Broad St Mobile, AL 36603
GMC # AMOB240022

ISSUE DATE 04/04/24
ISSUED FOR BID DEMO PKG 04/04/24
ADDENDUM # 1 04/17/24

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Table with 2 columns: ISSUE DATE, ADDENDUM #

DRAWN BY: Author
CHECKED BY: Checker

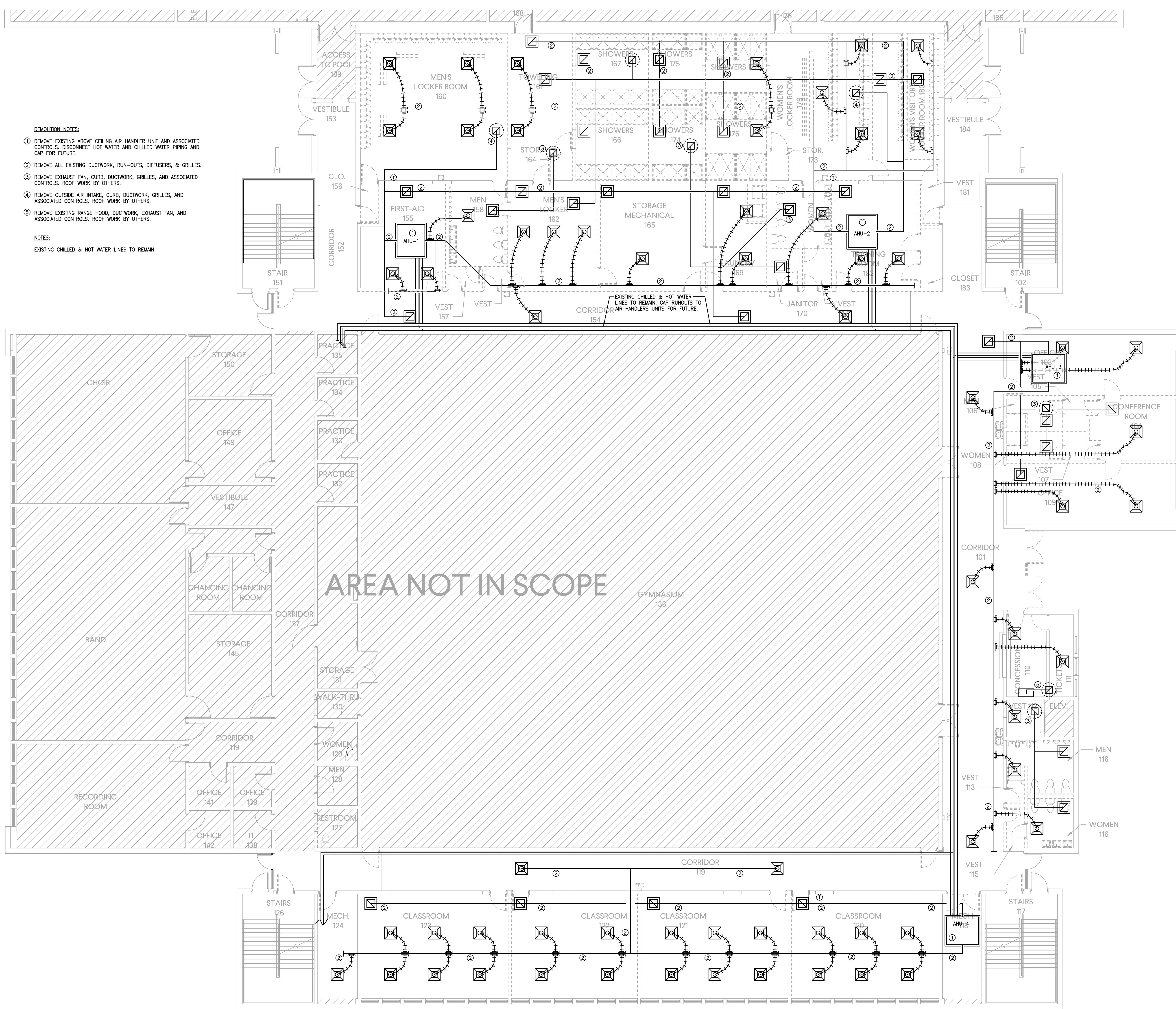


DEMOLITION NOTES:

1. THE DEMOLITION WORK SHALL BE SCHEDULED WITH THE NEW INSTALLATION WORK AS TO MINIMIZE ANY DOWN TIME TO THE EXISTING SYSTEMS.
2. CONTRACTOR SHALL DISPOSE OF DEMOLISHED MATERIALS IN A TIMELY MANNER. DEMOLISHED MATERIALS SHALL NOT CLUTTER WORK AREAS.
3. DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT LAWS, CODES IN EFFECT IN THE JURISDICTION IN WHICH THE WORK IS TO OCCUR, AND THE SPECIFICATIONS.

GENERAL NOTES

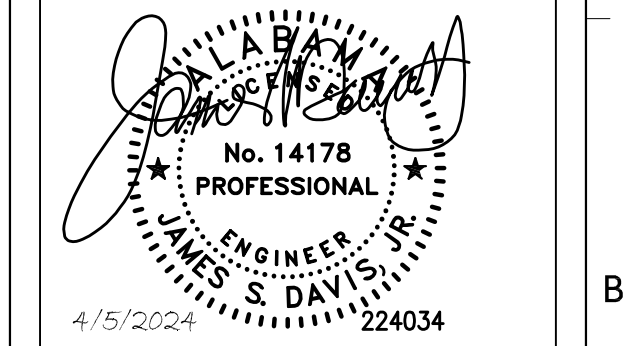
1. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. WORK MUST CONFORM TO CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY ALL FIELD CONDITIONS AND LOCATIONS OF ALL DUCTWORK, PIPING, AND EQUIPMENT SHOWN ON DRAWINGS. CONTRACTOR SHALL VERIFY CLEARANCES, ROUTING AND NEW TIE-INS PRIOR TO FABRICATION AND INSTALLATION.
3. CONTRACTOR SHALL CLOSELY COORDINATE CONSTRUCTION OF ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, CIVIL AND ELECTRICAL WORK, ETC. SHOWN OR SPECIFIED ON OTHER CONTRACT DOCUMENTS AND DRAWINGS.
4. CARE SHALL BE EXERCISED DURING SITE FABRICATION TO INSURE THAT NO INTERFERENCE WITH OPERATIONS OR OPERATING EQUIPMENT OCCURS. ANY WORK TO BE COMPLETED IN THE CONCURRENT WORK AREAS SHALL BE FULLY COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK. ALL WORK PERFORMED IS TO BE ISOLATED AS TO INSURE NO DUST, DEBRIS, VAPORS, ETC. ENTER OCCUPIED OPERATING SPACES.
5. EQUIPMENT SHALL BE AS SCHEDULED ON DRAWINGS. WHERE ACCEPTABLE ALTERNATE MANUFACTURERS ARE LISTED, EQUIPMENT SHALL BE OF EQUAL QUALITY AND CAPACITY AS THE EQUIPMENT SCHEDULED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ARRANGEMENT CHANGES REQUIRED TO ACCOMMODATE USE OF ALTERNATE EQUIPMENT. SUBSTITUTION OF OTHER EQUIPMENT SHALL BE SUBMITTED FOR APPROVAL IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFICATION.
6. MECHANICAL DRAWINGS ARE DIAGRAMMATIC AND SUBJECT TO REQUIREMENTS OF THE ARCHITECTURAL DRAWINGS AND CONDITIONS EXISTING IN THE FIELD. MECHANICAL DRAWINGS INDICATE GENERALLY THE LOCATION OF COMPONENTS AND ARE NOT INTENDED TO SHOW ALL FITTINGS OR ALL DETAILS OF THE WORK.
7. FOLLOW THE DRAWINGS CLOSELY; COORDINATE DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. DO NOT SCALE MECHANICAL DRAWINGS FOR LOCATIONS OF SYSTEM COMPONENTS. THE MECHANICAL CONTRACTOR SHALL VERIFY ALL NEW ROUTINGS, AND TIE-INS PRIOR TO THE FABRICATION AND INSTALLATION OF ANY DUCTWORK OR PIPING.
8. MAKE NO CHANGES WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. IN CASE OF DOUBT, OBTAIN PRIME CONSULTANT'S DECISION BEFORE PROCEEDING WITH WORK. FAILURE TO FOLLOW THIS INSTRUCTION SHALL MAKE THE CONTRACTOR LIABLE FOR DAMAGE TO OTHER WORK AND RESPONSIBLE FOR REMOVING AND REPAIRING DEFECTIVE OR MISLOCATED WORK IN PROPER MANNER.
9. DO NOT SCALE DRAWINGS TO LOCATE DIFFUSERS AND EQUIPMENT, COORDINATE WITH NEW AND EXISTING LIGHTING, ELECTRICAL CONDUIT, SMOKE DETECTORS, CABLE RACK, CEILING GRIDS, AND EXISTING FIELD CONDITIONS.
10. PRIOR TO PREPARING SUBMITTALS VERIFY ALL EQUIPMENT VOLTAGES WITH THE ELECTRICAL DRAWINGS, AND ELECTRICAL CONTRACTOR AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT AS SOON AS POSSIBLE AND BEFORE ORDERING ANY EQUIPMENT.
11. IF SYSTEMS INTERFERE OR CONFLICT, THE ARCHITECT SHALL DECIDE WHICH EQUIPMENT TO RELOCATE REGARDLESS OF WHICH WAS INSTALLED FIRST.
12. PROTECT MECHANICAL EQUIPMENT FROM DAMAGE DURING CONSTRUCTION WHEN INSTALLATION IS COMPLETE, CLEAN EQUIPMENT AND MAKE READY FOR PAINTING.
13. INSTALL ALL EQUIPMENT TO PROVIDE NORMAL (AND CODE REQUIRED) SERVICE ACCESS TO ALL COMPONENTS INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. IF MANUFACTURER'S INSTRUCTIONS CONFLICT WITH CONTRACT DOCUMENTS OBTAIN ARCHITECT'S DECISION BEFORE PROCEEDING.
14. FURNISH ACCESS DOORS FOR VALVES, FIRE DAMPERS, DAMPERS, CONTROLS, AIR VENTS, TRAP CLEAN OUTS, AND OTHER ITEMS LOCATED ABOVE NON-LIFTOUT CEILINGS OR BEHIND PARTITIONS OR WALLS. DOORS IN FIRE RATED WALLS, AND CEILINGS; UL LABELED WITH FIRE RATING EQUAL TO FIRE RATING OF WALL OR CEILING. COORDINATE WALL AND CEILING FIRE RATINGS WITH ARCHITECTURAL DRAWINGS, AND CONDITIONS EXISTING IN THE FIELD.
15. WHEN WORKING ON EXISTING DUCTWORK SYSTEMS THE CONTRACTOR SHALL INSTALL TEMPORARY FILTER MEDIA OVER ALL NEW AND EXISTING SUPPLY AIR DIFFUSERS PRIOR TO THE START OF WORK.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY, SECURITY AND COMPLIANCE WITH OSHA SAFETY GUIDELINES.



- DEMOLITION NOTES:**
- ① REMOVE EXISTING ABOVE CEILING AIR HANDLER UNIT AND ASSOCIATED CONTROLS. DISCONNECT HOT WATER AND CHILLED WATER PIPING AND CAP FOR FUTURE.
 - ② REMOVE ALL EXISTING DUCTWORK, RUN-OUTS, DIFFUSERS, & GRILLES.
 - ③ REMOVE EXHAUST FAN, CURB, DUCTWORK, GRILLES, AND ASSOCIATED CONTROLS. ROOF WORK BY OTHERS.
 - ④ REMOVE OUTSIDE AIR INTAKE, CURB, DUCTWORK, GRILLES, AND ASSOCIATED CONTROLS. ROOF WORK BY OTHERS.
 - ⑤ REMOVE EXISTING RANGE HOOD, DUCTWORK, EXHAUST FAN, AND ASSOCIATED CONTROLS. ROOF WORK BY OTHERS.
- NOTES:**
 EXISTING CHILLED & HOT WATER LINES TO REMAIN.

ISSUE	DATE
ISSUED FOR BID DEMO PKG	04/05/24
ADDENDUM # 1	04/17/24

Renovations to the Fredericka G. Evans Cultural Center
 Bishop State Community College
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 GMC # AMOB240022



DEMOLITION FLOOR PLAN - HVAC
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GENERAL NOTES

1. WHERE FIXTURES OR EQUIPMENT ARE NOTED "TO BE REMOVED", CONTRACTOR SHALL REMOVE ALL PIPING AND CAP OR PLUG SAME BELOW FLOOR ABOVE CEILING OR IN PARTITIONS AS REQUIRED BY LOCAL CODES.
2. DRINK FOUNTAINS/WATER COOLERS/BOTTLE FILLERS REMOVED SHALL BE TURNED OVER TO THE OWNER UPON REMOVAL, UNLESS OTHERWISE NOTED, ALL OTHER FIXTURES OR EQUIPMENT REMOVED AND NOT REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM SITE.
3. AS A RESULT OF DEMOLITION, PLUMBING PIPING MAYBE DISCOVERED IN WALLS TO BE REMOVED. REMOVE PIPING THAT BECOMES INACTIVE. OFFSET PIPES TO REMAIN ACTIVE IN NEW WALLS OR CHASES.

GENERAL NOTES - DEMOLITION:

1. REMOVE ALL PLUMBING FIXTURES IN CONTRACT AREA WHETHER SHOWN OR NOT. REMOVE ALL PIPING BACK TO MAINS AND CAP.
2. ALL PIPING IN EXISTING WALLS TO BE REMOVED SHALL BE REMOVED BACK TO MAIN OR IN WALL TO REMAIN AND CAPPED, WHETHER SHOWN OR NOT.
3. IT IS ACCEPTABLE TO LEAVE EXISTING PIPING IN WALLS TO REMAIN PROVIDED THEY ARE DISCONNECTED FROM SERVICE.

KEYED NOTES

- ① REMOVE ALL EXISTING PLUMBING FIXTURES IN RESTROOM WHETHER SHOWN OR NOT. REMOVE ALL PIPING BACK TO MAIN ABOVE CEILING OR BELOW FLOOR AND CAP
- ② REMOVE EXISTING ELECTRIC WATER COOLER/BOTTLE FILLER. REMOVE ALL PIPING BACK TO MAIN ABOVE CEILING OR BELOW FLOOR AND CAP.
- ③ REMOVE ALL EXISTING PLUMBING FIXTURES IN RESTROOM/LOCKER ROOM WHETHER SHOWN OR NOT. REMOVE ALL PIPING ABOVE CEILING BACK TO MAIN AND CAP. REMOVE ALL WASTE PIPING BELOW FLOOR BACK TO MAIN AND CAP.
- ④ REMOVE ALL EXISTING PLUMBING FIXTURES IN LAUNDRY WHETHER SHOWN OR NOT. REMOVE ALL PIPING ABOVE CEILING BACK TO MAIN AND CAP. REMOVE ALL WASTE PIPING BELOW FLOOR BACK TO MAIN AND CAP.
- ⑤ REMOVE ALL EXISTING PLUMBING FIXTURES IN STORAGE/MECHANICAL ROOM WHETHER SHOWN OR NOT. REMOVE ALL PIPING ABOVE CEILING BACK TO MAIN AND CAP. REMOVE ALL WASTE PIPING BELOW FLOOR BACK TO MAIN AND CAP. COORDINATE WITH MECHANICAL FOR PLUMBING ITEMS SERVING MECHANICAL EQUIPMENT.
- ⑥ REMOVE ALL EXISTING PLUMBING FIXTURES IN JANITOR CLOSET WHETHER SHOWN OR NOT. REMOVE ALL PIPING ABOVE CEILING BACK TO MAIN AND CAP. REMOVE ALL WASTE PIPING BELOW FLOOR BACK TO MAIN AND CAP.

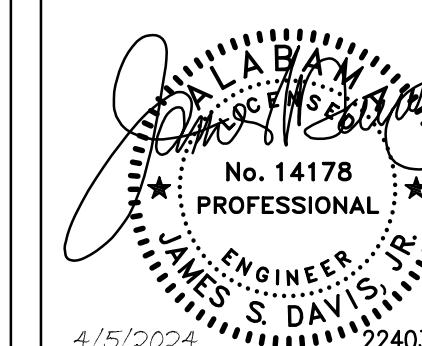
ISSUE	DATE
ISSUED FOR BID DEMO PKG	04/05/24
ADDENDUM # 1	04/17/24

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Renovations to the Fredericka G. Evans Cultural Center

Bishop State Community College
351 N. Broad St. Mobile, AL 36603

GMC # AMOB240022



DEMOLITION FLOOR PLAN - PLUMBING

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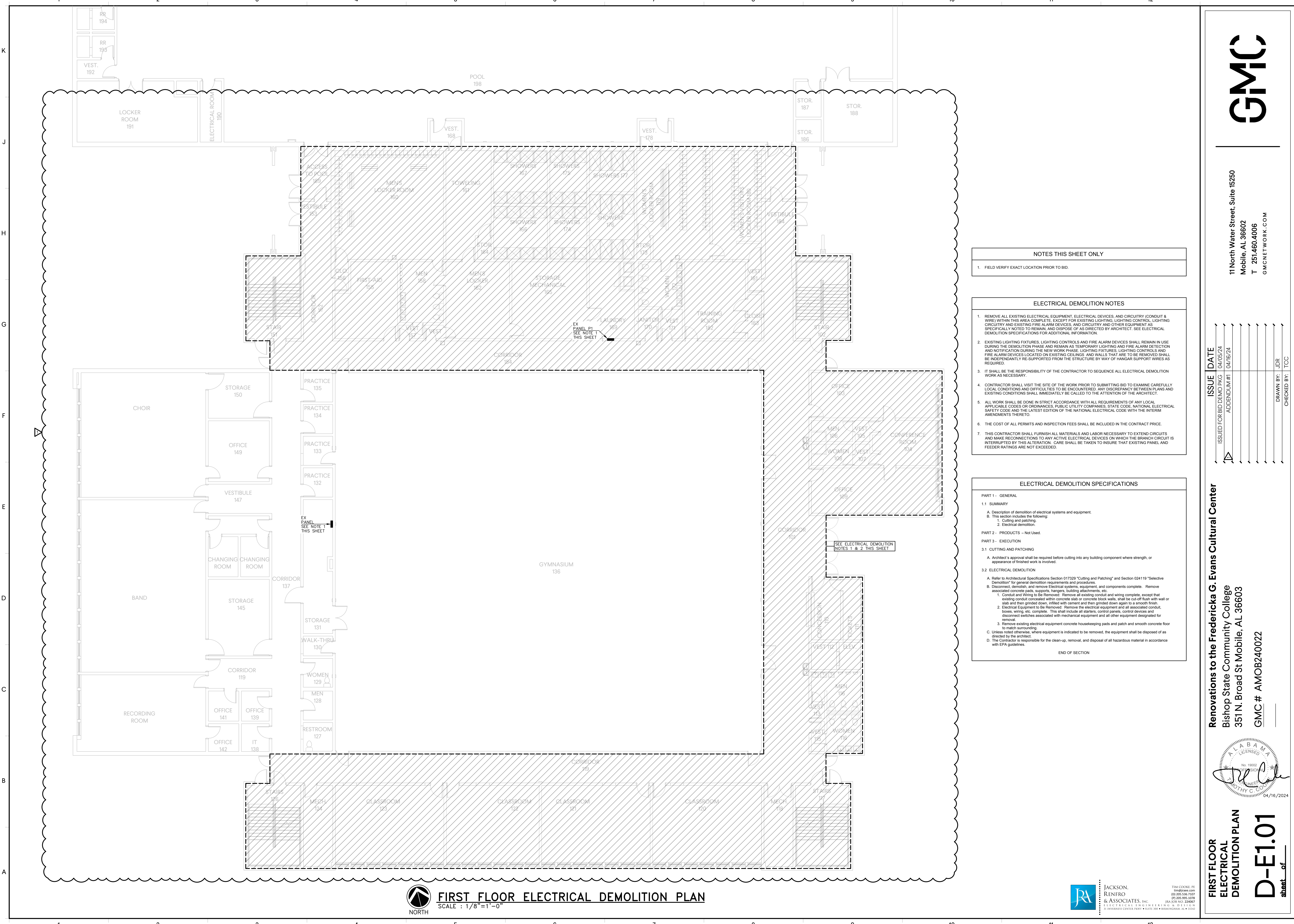


1 DEMOLITION FLOOR PLAN PLUMBING

SCALE: 1/8" = 1'-0"

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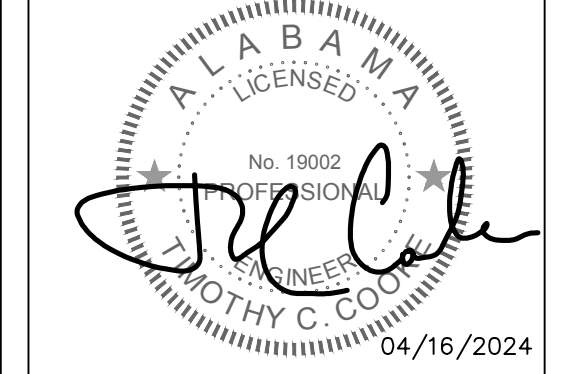
FIRST FLOOR ELECTRICAL DEMOLITION PLAN
SCALE : 1/8"=1'-0"



JACKSON
RENFRO
& ASSOCIATES, INC.
ELECTRICAL ENGINEERING & DESIGN
UNIVERSITY CENTER HWY • SUITE 300 • HOUSTON, TX 77057

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tim@jrae.com
(281) 266-7107
(972) 995-1078
HOUSTON, TEXAS

**FIRST FLOOR
ELECTRICAL
DEMOLITION PLAN**
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NOTES THIS SHEET ONLY
1. FIELD VERIFY EXACT LOCATION PRIOR TO BID.

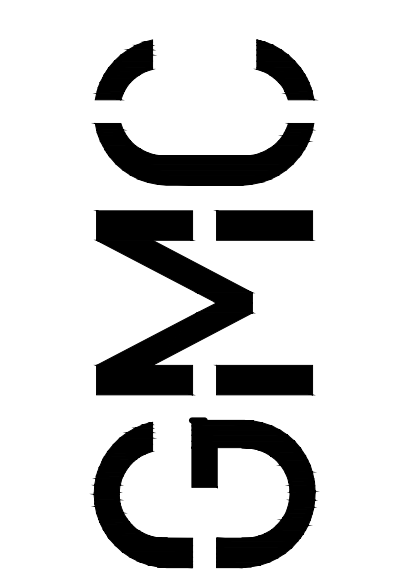
ELECTRICAL DEMOLITION NOTES
1. REMOVE ALL EXISTING ELECTRICAL EQUIPMENT, ELECTRICAL DEVICES, AND CIRCUITRY (CONDUIT & WIRE) WITHIN THIS AREA COMPLETE, EXCEPT FOR EXISTING LIGHTING, LIGHTING CONTROL, LIGHTING CIRCUITRY AND EXISTING FIRE ALARM DEVICES, AND CIRCUITRY AND OTHER EQUIPMENT AS SPECIFICALLY NOTED TO REMAIN, AND DISPOSE OF AS DIRECTED BY ARCHITECT. SEE ELECTRICAL DEMOLITION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. EXISTING LIGHTING FIXTURES, LIGHTING CONTROLS AND FIRE ALARM DEVICES SHALL REMAIN IN USE DURING THE DEMOLITION PHASE AND REMAIN AS TEMPORARY LIGHTING AND FIRE ALARM DETECTION AND NOTIFICATION DURING THE NEW WORK PHASE. LIGHTING FIXTURES, LIGHTING CONTROLS AND FIRE ALARM DEVICES LOCATED ON EXISTING CEILINGS AND WALLS THAT ARE TO BE REMOVED SHALL BE INDEPENDENTLY RE-SUPPORTED FROM THE STRUCTURE BY WAY OF HANGER SUPPORT WIRING AS REQUIRED.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE ALL ELECTRICAL DEMOLITION WORK AS NECESSARY.
4. CONTRACTOR SHALL VISIT THE SITE OF THE WORK PRIOR TO SUBMITTING BID TO EXAMINE CAREFULLY LOCAL CONDITIONS AND DIFFICULTIES TO BE ENCOUNTERED. ANY DISCREPANCY BETWEEN PLANS AND EXISTING CONDITIONS SHALL IMMEDIATELY BE CALLED TO THE ATTENTION OF THE ARCHITECT.
5. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF ANY LOCAL APPLICABLE CODES OR ORDINANCES, PUBLIC UTILITY COMPANIES, STATE CODE, NATIONAL ELECTRICAL SAFETY CODE AND THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE WITH THE INTERIM AMENDMENTS THERETO.
6. THE COST OF ALL PERMITS AND INSPECTION FEES SHALL BE INCLUDED IN THE CONTRACT PRICE.
7. THIS CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR NECESSARY TO EXTEND CIRCUITS AND MAKE RECONNECTIONS TO ANY ACTIVE ELECTRICAL DEVICES ON WHICH THE BRANCH CIRCUIT IS INTERRUPTED BY THIS ALTERATION. CARE SHALL BE TAKEN TO INSURE THAT EXISTING PANEL AND FEEDER RATINGS ARE NOT EXCEEDED.

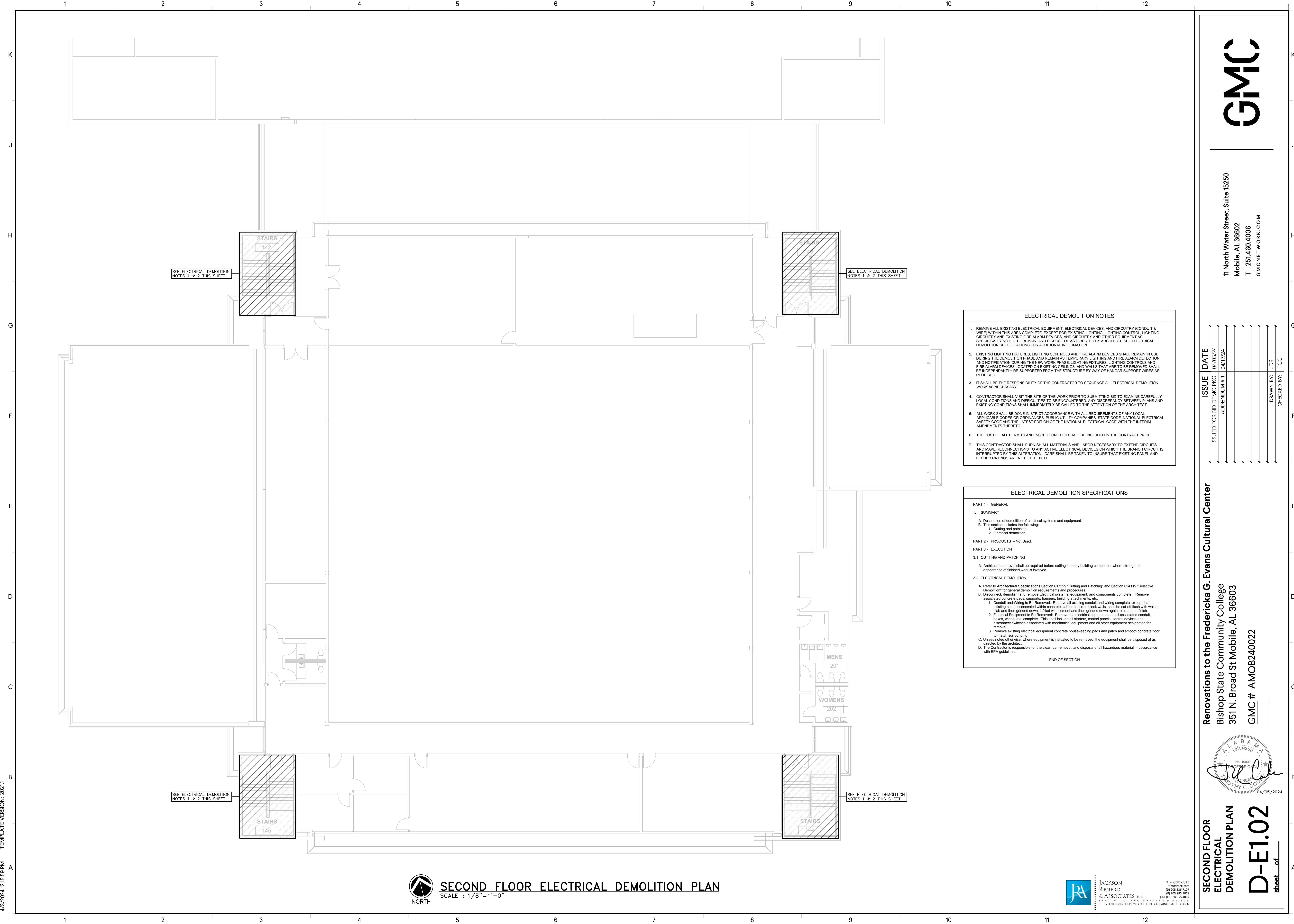
ELECTRICAL DEMOLITION SPECIFICATIONS
PART 1 - GENERAL
1.1 SUMMARY
A. Description of demolition of electrical systems and equipment.
B. This section includes the following:
1. Cutting and patching.
2. Electrical demolition.
PART 2 - PRODUCTS - Not Used.
PART 3 - EXECUTION
3.1 CUTTING AND PATCHING
A. Architect's approval shall be required before cutting into any building component where strength, or appearance of finished work is involved.
3.2 ELECTRICAL DEMOLITION
A. Refer to Architectural Specifications Section 01720 "Cutting and Patching" and Section 02410 "Selective Demolition" for general demolition requirements and procedures.
B. Disconnect, demobilize, and remove Electrical systems, equipment, and components complete. Remove associated concrete pads, supports, hangers, building attachments, etc.
1. Conduit and Wiring to Be Removed: Remove all existing conduit and wiring complete, except that existing conduit concealed within concrete slab or concrete block walls, shall be cut-off flush with wall or slab and then grinded down, inflated with cement and then grinded down again to a smooth finish.
2. Electrical Equipment to Be Removed: Remove the electrical equipment and all associated conduit, boxes, wiring, etc. complete. This shall include all starters, control panels, control devices and disconnect switches associated with mechanical equipment and all other equipment designated for removal.
3. Remove existing electrical equipment concrete housekeeping pads and patch and smooth concrete floor to match surrounding.
C. Unless noted otherwise, where equipment is indicated to be removed, the equipment shall be disposed of as directed by the architect.
D. The Contractor is responsible for the clean-up, removal, and disposal of all hazardous material in accordance with EPA guidelines.

END OF SECTION

ISSUE	DATE
ISSUED FOR BID DEMO PKG	04/05/24
ADDENDUM #1	04/16/24
DRAWN BY:	JDR
CHECKED BY:	TCC

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Mobile, AL 36602
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ELECTRICAL DEMOLITION NOTES

- REMOVE ALL EXISTING ELECTRICAL EQUIPMENT, ELECTRICAL DEVICES, AND CIRCUITRY (CONDUIT & WIRE) WITHIN THIS AREA COMPLETE, EXCEPT FOR EXISTING LIGHTING, LIGHTING CONTROL, LIGHTING CIRCUITRY AND EXISTING FIRE ALARM DEVICES, AND CIRCUITRY AND OTHER EQUIPMENT AS SPECIFICALLY NOTED TO REMAIN, AND DISPOSE OF AS DIRECTED BY ARCHITECT. SEE ELECTRICAL DEMOLITION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- EXISTING LIGHTING FIXTURES, LIGHTING CONTROLS AND FIRE ALARM DEVICES SHALL REMAIN IN USE DURING THE DEMOLITION PHASE AND REMAIN AS TEMPORARY LIGHTING AND FIRE ALARM DETECTION AND NOTIFICATION DURING THE NEW WORK PHASE. LIGHTING FIXTURES, LIGHTING CONTROLS AND FIRE ALARM DEVICES LOCATED ON EXISTING CEILINGS AND WALLS THAT ARE TO BE REMOVED SHALL BE INDEPENDENTLY RE-SUPPORTED FROM THE STRUCTURE BY WAY OF HANGAR SUPPORT WIRES AS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE ALL ELECTRICAL DEMOLITION WORK AS NECESSARY.
- CONTRACTOR SHALL VISIT THE SITE OF THE WORK PRIOR TO SUBMITTING BID TO EXAMINE CAREFULLY LOCAL CONDITIONS AND DIFFICULTIES TO BE ENCOUNTERED. ANY DISCREPANCY BETWEEN PLANS AND EXISTING CONDITIONS SHALL IMMEDIATELY BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF ANY LOCAL APPLICABLE CODES OR ORDINANCES, PUBLIC UTILITY COMPANIES, STATE CODE, NATIONAL ELECTRICAL SAFETY CODE AND THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE WITH THE INTERIM AMENDMENTS THERETO.
- THE COST OF ALL PERMITS AND INSPECTION FEES SHALL BE INCLUDED IN THE CONTRACT PRICE.
- THIS CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR NECESSARY TO EXTEND CIRCUITS AND MAKE RECONNECTIONS TO ANY ACTIVE ELECTRICAL DEVICES ON WHICH THE BRANCH CIRCUIT IS INTERRUPTED BY THIS ALTERATION. CARE SHALL BE TAKEN TO INSURE THAT EXISTING PANEL AND FEEDER RATINGS ARE NOT EXCEEDED.

ELECTRICAL DEMOLITION SPECIFICATIONS

PART 1 - GENERAL

1.1 SUMMARY

A. Description of demolition of electrical systems and equipment.

B. This section includes the following:

- Cutting and patching
- Electrical demolition.

PART 2 - PRODUCTS - Not Used.

PART 3 - EXECUTION

3.1 CUTTING AND PATCHING

A. Architect's approval shall be required before cutting into any building component where strength, or appearance of finished work is involved.

3.2 ELECTRICAL DEMOLITION

A. Refer to Architectural Specifications Section 017320 "Cutting and Patching" and Section 024119 "Selective Demolition" for general demolition requirements and procedures.

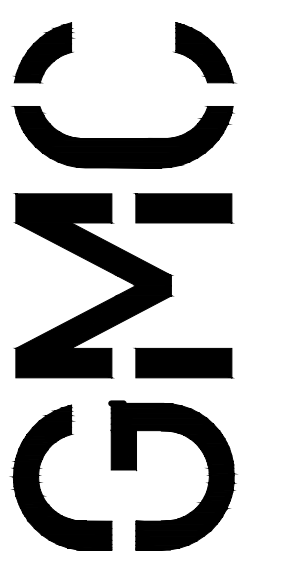
B. Disconnect, demolish, and remove Electrical systems, equipment, and components complete. Remove associated concrete pads, supports, hangers, building attachments, etc.

- Conduit and Wiring to Be Removed: Remove all existing conduit and wiring complete, except that existing conduit concealed within concrete slab or concrete block walls, shall be cut-off flush with wall or slab and then grinded down, infilled with cement and then grinded down again to a smooth finish.
- Electrical Equipment to Be Removed: Remove the electrical equipment and all associated conduit, boxes, wiring, etc. complete. This shall include all starters, control panels, control devices and disconnect switches associated with mechanical equipment and all other equipment designated for removal.
- Remove existing electrical equipment concrete housekeeping pads and patch and smooth concrete floor to match surrounding.

C. Unless noted otherwise, where equipment is indicated to be removed, the equipment shall be disposed of as directed by the architect.

D. The Contractor is responsible for the clean-up, removal, and disposal of all hazardous material in accordance with EPA guidelines.

END OF SECTION

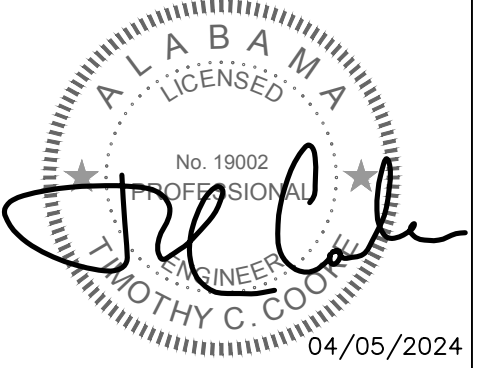


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ISSUE	DATE
ISSUED FOR BID DEMO PKG	04/05/24
ADDENDUM # 1	04/17/24

DRAWN BY: JDR
 CHECKED BY: TCC

Renovations to the Fredericka G. Evans Cultural Center
 Bishop State Community College
 351 N. Broad St Mobile, AL 36603
 GMC # AMOB240022



SECOND FLOOR ELECTRICAL DEMOLITION PLAN
D-E1.02
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SECOND FLOOR ELECTRICAL DEMOLITION PLAN
 SCALE : 1/8"=1'-0"

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