



Goodwyn Mills Cawood  
11 North Water Street  
Suite 15250  
Mobile, Alabama 36602  
T 251.460.4006  
F 251.460.4423

## FASCIMILE TRANSMITTAL COVER SHEET

**DATE:** April 24, 2024  
**TO:** Doris Furr  
**FROM:** Planholder  
**PROJECT:** RENOVATIONS TO FREDERICKA G. EVANS CULTURAL CENTER  
For BISHOP STATE COMMUNITY COLLEGE  
GMC PROJECT NO. AMOB240022  
**RE:** ADDENDUM NO. 2 AND ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM NO. 2

---

### ACKNOWLEDGEMENT OF RECEIPT:

PLEASE PRINT RECIPIENT'S NAME, FIRM, AND DATE RECEIVED.

THEN FAX BACK TO (251) 460-4423 or EMAIL [doris.furr@gmcnetwork.com](mailto:doris.furr@gmcnetwork.com)  
FOR OUR RECORDS AND TO ACKNOWLEDGE YOUR RECEIPT OF THIS ADDENDUM.

\_\_\_\_\_  
NAME (PLEASE PRINT)

\_\_\_\_\_  
FIRM (PLEASE PRINT)

\_\_\_\_\_  
DATE RECEIVED (PLEASE PRINT)

**ADDENDUM NUMBER 2**

**April 24, 2024**

---

**PROJECT:  
RENOVATIONS TO FREDERICKA G. EVANS CULTURAL CENTER  
BISHOP STATE COMMUNIT COLLEGE  
GMC PROJECT NO. AMOB240022**

---

**AD2-1 CLARIFICATIONS / RFI RESPONSES / ADDITIONS / ETC.:**

- A. Bidders shall acknowledge receipt of the Addendum in writing, as provided on the Acknowledgment Receipt.
- B. Scope has changed. The entire set of drawings should be replaced with the set provided with this Addendum.

**AD2-2 ISSUED SPECIFICATIONS:**

- A. None

**AD2-3 ISSUED DRAWINGS:**

- A. Replace ALL sheets. D-A1.02, D-A2.02, and D-E1.02 are no longer in set.

**AD2-4 ATTACHMENTS:**

- A. D-G1.01 – COVERSHEET  
D-G1.02 – GENERAL NOTES & BUILDING CODE SUMMARY  
D-A1.01 – DEMOLITION FLOOR PLAN – 1<sup>ST</sup> FLOOR  
D-A2.01 – DEMOLITION RCP- 1<sup>ST</sup> FLOOR  
D-A4.01 – EXISTING CONDITIONS  
D -M1.01 – DEMOLITION FLOOR PLAN -HVAC  
D-P1.01 – DEMOLITION FLOOR PLAN – PLUMBING  
D-E1.01 – FIRST FLOOR ELECTRICAL DEMOLITION PLAN

**END OF ADDENDUM**

**PREPARED BY**

Goodwyn Mills Cawood, LLC  
11 North Water Street, Suite 15250  
Mobile, Alabama 36602  
T 251.460.4006  
F 251.460.4223



# BISHOP STATE COMMUNITY COLLEGE MAIN CAMPUS RENOVATIONS TO THE FREDERICKA G. EVANS CULTURAL CENTER DEMOLITION PACKAGE FOR THE ALABAMA COMMUNITY COLLEGE SYSTEM

MOBILE, ALABAMA

**GOODWYN MILLS & CAWOOD, LLC**

**ARCHITECTURE & INTERIORS**  
11 NORTH WATER STREET, SUITE 15250  
MOBILE, AL 36602  
251-460-4006 CONTACT: JIM WALKER, AIA

**MW/ DAVIS DUMAS & ASSOCIATES, INC.**

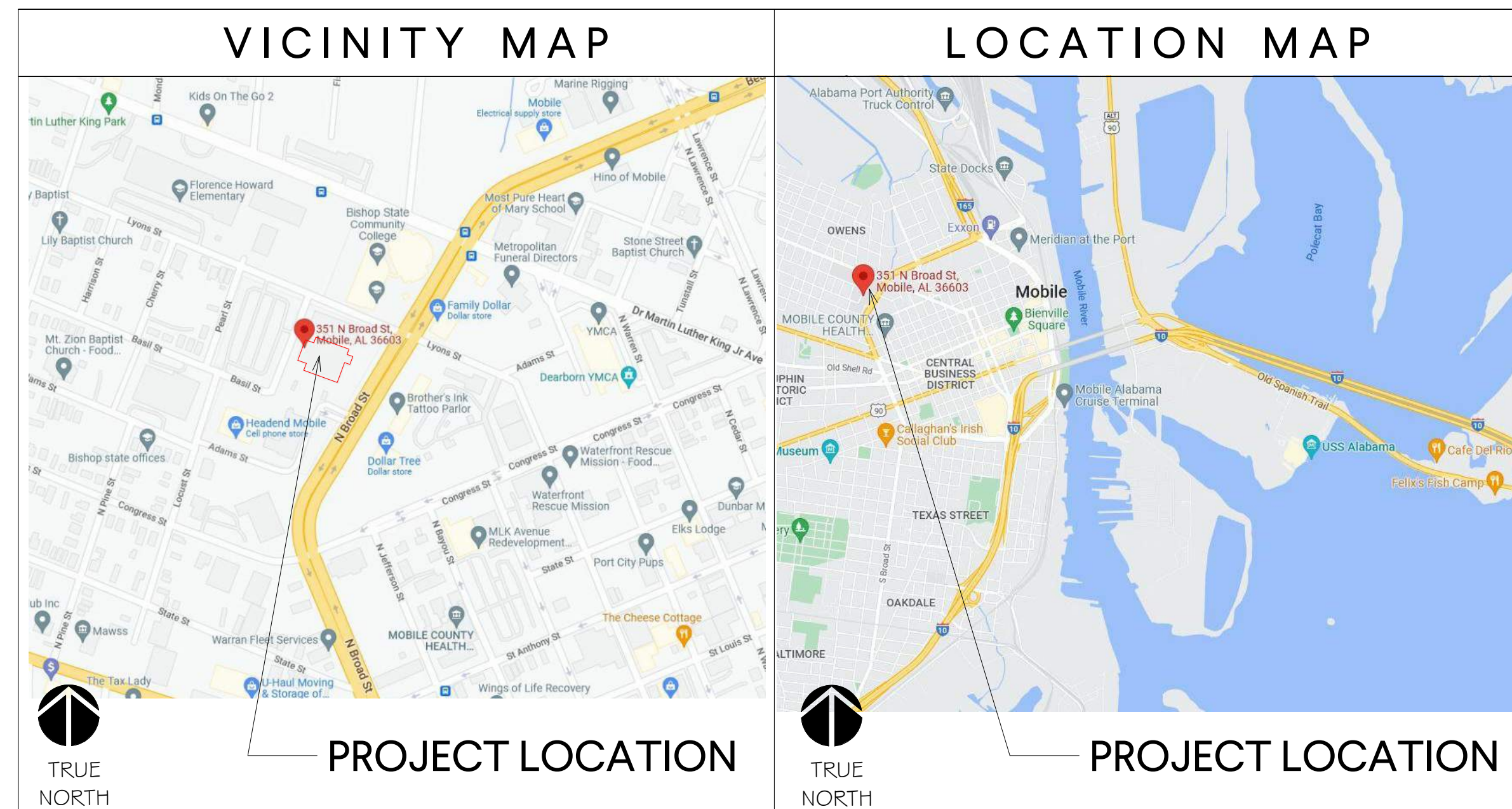
**MECHANICAL, FIRE PROTECTION & PLUMBING ENGINEERING**  
4500 SOUTHLAKE PARK, SUITE 200  
HOOVER, AL 35244  
205-252-0246 EXT.242 CONTACT: SAM DAVIS, PE

**JACKSON RENFRO & ASSOCIATES, INC.**

**ELECTRICAL ENGINEERING**  
31 INVERNESS CENTER PARKWAY, SUITE 300  
BIRMINGHAM, AL 35242  
205-536-7107 CONTACT: TIM COOKE, PE

**BARTER & ASSOCIATES, INC.**

**STRUCTURAL ENGINEERING**  
1614 GOVERNMENT STREET,  
MOBILE, AL 36604  
251-473-8354 CONTACT: JAMES RUSSELL, PE



INTERIOR DEMOLITION INDEX OF DRAWINGS	
SHEET NAME	
0.0 GENERAL	
D-G1.01	COVERSHEET
D-G1.02	GENERAL NOTES & BUILDING CODE SUMMARY
3.0 ARCHITECTURE	
D-A1.01	DEMOLITION FLOOR PLAN - 1ST FLOOR
D-A2.01	DEMOLITION RCP - 1ST FLOOR
D-A4.01	EXISTING CONDITIONS
5.0 MECHANICAL	
D-M1.01	DEMOLITION FLOOR PLAN - HVAC
6.0 PLUMBING	
D-P1.01	DEMOLITION FLOOR PLAN - PLUMBING
7.0 ELECTRICAL	
D-E1.01	FIRST FLOOR ELECTRICAL DEMOLITION PLAN

ISSUE DATE	ISSUED FOR BID DEMO PKG
04/05/24	
ADDENDUM #2	04/23/24

**Renovations to the Fredericka G. Evans Cultural Center**  
 Demolition Package  
 Bishop State Community College  
 351 N. Broad St Mobile, AL 36603  
 GMC # AMOB240022  
 PERMIT # BLDG-131175-2024  
 ACCS# 2021-030



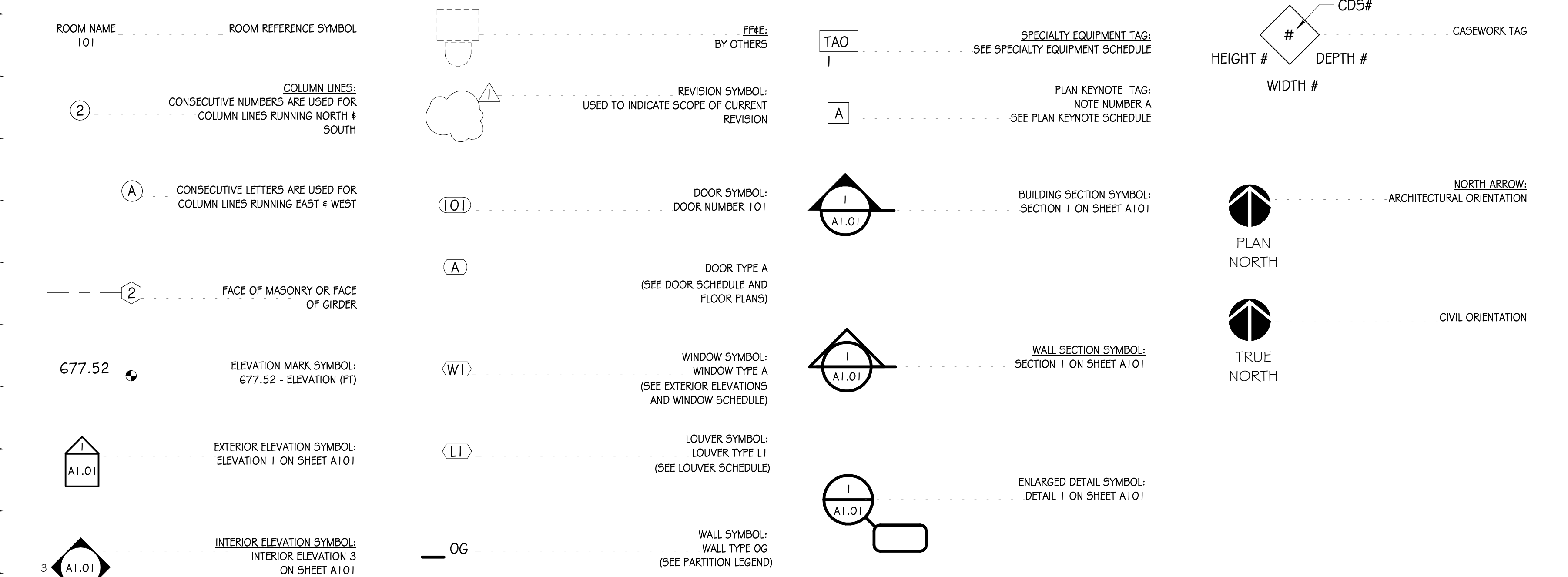
**COVERSHEET**  
**D-G1.01**  
 sheet of

**GMC**  
 11 North Water Street, Suite 15250  
 Mobile, AL 36602  
 T 251.460.4006  
 GMCNETWORK.COM

ABBREVIATIONS

Table of abbreviations for construction terms, organized in columns with categories like ACCESSIBLE, AMERICAN CONCRETE INSTITUTE, etc.

ANNOTATION SYMBOLS



GENERAL NOTES

Table of general notes for Division 1 - General Requirements, Division 3 - Concrete, and Division 21 - Fire Suppression.

City of Mobile - Permitting Building Code Summary For All Commercial Projects

Information section of the permit form, including fields for Name of Project, Address, and various checkboxes for codes and scope of work.

Mobile, MO Box 1827, Mobile, Alabama 36613. For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251.208.7198

Table for Fire Rated Elements, listing items like Ceiling/Floors, Beams, Columns, etc., with columns for Required Rating, Hourly Rating, and UL No.

Table for NOT ADDING PLUMBING FIXTURES IN THE DEMO PACKAGE, with columns for OCCUPANCY, OCCUPANT, and WATER CLOSETS.

Fire Department Requirements: The design professional shall provide the following required fire protection elements for the building.

Required water supply: GPM @ PSI. Method Used: The Insurance Service Office (ISO) Method, Illinois Institute of Technology (IIT) Method, International Fire Code 2021 (IFC).

Key Boxes IFC 506: Yes No. Locks: Yes No. Emergency Responder Communication Coverage IFC 510: Yes No.

Provide a Life Safety Plan (LSP) for all commercial projects: Yes No. Compliance Statement required for Fire Approval: Yes No.

Flood Requirements (IBC 1612) All projects located in a Special Flood Hazard Area shall comply with the City of Mobile Storm Water Management and Flood Control Ordinance.

Special Inspections and Tests (IBC 17) I have reviewed the requirements of IBC Section 17, specifically 1705; the design incorporates the requirements and is reflected on the drawings and in the specifications.

The Contractor has been notified of his responsibility under Section 1704. Yes No. Safety Glazing for Hazardous (IBC 2406) I have identified on drawings where tempered glass is required in hazardous locations (2406.4) Yes No.

Mobile, MO Box 1827, Mobile, Alabama 36613. For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251.208.7198

Form section of the permit form, including Total Lot Area, Existing Building, Building Height, and various checkboxes for construction type and occupancy classification.

Mobile, MO Box 1827, Mobile, Alabama 36613. For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251.208.7198

Mobile, MO Box 1827, Mobile, Alabama 36613. For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251.208.7198

Table for NOT ADDING PLUMBING FIXTURES IN THE DEMO PACKAGE, with columns for OCCUPANCY, OCCUPANT, and WATER CLOSETS.

Fire Department Requirements: The design professional shall provide the following required fire protection elements for the building.

Required water supply: GPM @ PSI. Method Used: The Insurance Service Office (ISO) Method, Illinois Institute of Technology (IIT) Method, International Fire Code 2021 (IFC).

Key Boxes IFC 506: Yes No. Locks: Yes No. Emergency Responder Communication Coverage IFC 510: Yes No.

Provide a Life Safety Plan (LSP) for all commercial projects: Yes No. Compliance Statement required for Fire Approval: Yes No.

Flood Requirements (IBC 1612) All projects located in a Special Flood Hazard Area shall comply with the City of Mobile Storm Water Management and Flood Control Ordinance.

Special Inspections and Tests (IBC 17) I have reviewed the requirements of IBC Section 17, specifically 1705; the design incorporates the requirements and is reflected on the drawings and in the specifications.

The Contractor has been notified of his responsibility under Section 1704. Yes No. Safety Glazing for Hazardous (IBC 2406) I have identified on drawings where tempered glass is required in hazardous locations (2406.4) Yes No.

Mobile, MO Box 1827, Mobile, Alabama 36613. For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251.208.7198

DIVISION 3 - CONCRETE

DIVISION 21 - FIRE SUPPRESSION

Vertical sidebar containing GMC logo, address (11 North Water Street, Suite 15250), contact info, and permit details (GMC # AMOB240022, PERMIT # BLDC-131175-2024).



GENERAL NOTES & BUILDING CODE SUMMARY D-G1.02 sheet\_of

4/24/2024 10:20:41 AM TEMPLATE VERSION: 20211

4/24/2024 10:20:35 AM TEMPLATE VERSION: 20211

# 1 DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"

PLAN NORTH



AREA NOT IN SCOPE

AREA NOT IN SCOPE

PRIOR TO SAWCUT AND REMOVAL OF THE EXISTING SLAB THE CONTRACTOR SHALL EXPLORE THE EXISTING AS BUILT SLAB/FOUNDATION CONDITION AT THE BASE OF EACH EXISTING LOAD BEARING WALL INDICATED TO REMAIN IN THIS AREA. THE OBJECTIVE OF THE EXPLORATORY WORK IS TO DETERMINE IF THE CMU WALLS AT THESE LOCATIONS EXTEND BELOW SLAB LEVEL TO AN INDEPENDANT FOUNDATION OR IF THE FOUNDATION IS INTEGRAL TO THE SLAB. ANTICIPATE SIX 2-FOOT SQUARE EXPLORATORY AREAS AT LOCATIONS DIRECTED ON SITE BY THE PROJECT ENGINEER.

PRIOR TO SAWCUT AND REMOVAL OF THE EXISTING SLAB THE CONTRACTOR SHALL EXPLORE THE EXISTING AS BUILT SLAB/FOUNDATION CONDITION AT THE BASE OF EACH EXISTING LOAD BEARING WALL INDICATED TO REMAIN IN THIS AREA. THE OBJECTIVE OF THE EXPLORATORY WORK IS TO DETERMINE IF THE CMU WALLS AT THESE LOCATIONS EXTEND BELOW SLAB LEVEL TO AN INDEPENDANT FOUNDATION OR IF THE FOUNDATION IS INTEGRAL TO THE SLAB. ANTICIPATE SIX 2-FOOT SQUARE EXPLORATORY AREAS AT LOCATIONS DIRECTED ON SITE BY THE PROJECT ENGINEER.

## DEMOLITION GENERAL NOTES

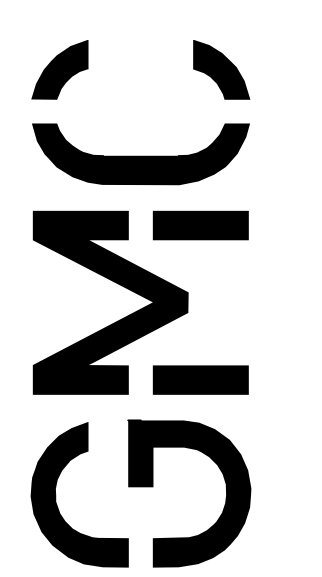
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY EXCEPT FOR ITEMS THAT ARE CLEARLY IDENTIFIED PRIOR TO BIDDING AS SALVAGE. SALVAGED ITEMS (IF ANY) ARE TO BE REMOVED AND DELIVERED TO A LOCATION DESIGNATED BY THE OWNER.
- REFER TO ENGINEERING DRAWINGS FOR DEMOLITION OF PLUMBING MECHANICAL, AND ELECTRICAL WORK.
- CONTRACTOR(S) SHALL ENTIRELY REMOVE ALL ITEMS INDICATED TO BE REMOVED.
- PROTECT ALL FINISHES, EQUIPMENT, EXISTING INTERIOR AND EXTERIOR BUILDING AREAS AND SURFACES TO REMAIN.
- BURNING WILL NOT BE ALLOWED ONSITE.
- ALL WORK AND CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH SCHOOL ACTIVITIES AND TRAFFIC PATTERNS.
- REMOVE ALL CEILINGS, LIGHT FIXTURES, INSULATION, EMPTY OR ABANDONED CONDUITS, PIPING, SPACE HEATERS, DUCT WORK, EXHAUST FANS AND MOTORS, ELECTRICAL PANELS, AND ALL OTHER SWITCHES, DEVICES, EQUIPMENT, BLOCKING, ETC. THAT WILL NOT BECOME PART OF OR USED IN THE NEW CONSTRUCTION OR OPERATION OF THE NEW BUILDING. DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK OR AS DIRECTED BY THE ARCHITECT, COORDINATE WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE WEATHER TIGHTNESS OF THE BUILDING DURING THE REMOVAL AND REPLACEMENT OF THE ROOF TOP EQUIPMENT, EXTERIOR WINDOWS AND AT ALL TIMES DURING CONSTRUCTION FOR THE DURATION OF THE PROJECT. ANY DAMAGE TO EXISTING CONDITIONS SHALL BE REMOVED AND REPLACED WITH NEW, IMMEDIATELY AT NO COST TO THE OWNER. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS.
- THE CONTRACTOR SHALL PROTECT ALL LANDSCAPING, LAWNS, WALKWAYS, DRIVEWAYS, SIGNAGE, LIGHT FIXTURES, ELECTRICAL PANELS, ETC. DURING THE COURSE OF DEMOLITION AND CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REPLACED AT NO COST TO THE OWNER. CONTRACTOR SHALL REPAIR TIRE RUTS IN LAWNS AND SHALL REPLACE EXISTING SOD WITH NEW AT NO COST TO THE OWNER.
- CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF POWER OR OTHER UTILITIES.
- ALL EXISTING LOAD BEARING COLUMNS AND WALLS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

### KEY NOTES - DEMOLITION

KEY	KEYNOTE
D2	EXISTING WALL TO REMAIN.
D3	EXISTING CMU WALL TO BE REMOVED.
D4	EXISTING TOILET PARTITIONS TO BE REMOVED.
D5	EXISTING DOOR, FRAME, & HARDWARE TO BE REMOVED. (TYPICAL)
D6	REMOVE EXISTING FINISHES AND EMPTY OR ABANDONED CONDUITS, ETC FROM WALLS AND FLOORS.
D9	EXISTING ELECTRICAL FIXTURES TO BE REMOVED AND CAPPED. COORDINATE WITH ELECTRICAL.
D10	EXISTING PLUMBING FIXTURES TO BE REMOVED AND CAPPED. COORDINATE WITH PLUMBING DRAWINGS.
D11	COORDINATE WITH MECHANICAL DRAWINGS FOR ANY DEMOLITION TO THE MECHANICAL DUCTWORK, LOUVERS, AND EQUIPMENT
D12	EXISTING CEILING TILES TO BE REMOVED. CEILING GRID TO REMAIN.
D13	REMOVE EXISTING WATER FOUNTAINS AND BOTTLE FILLS. (TYPICAL)
D14	HATCHED REGION REPRESENTS EXISTING CONCRETE SLAB TO BE SAW CUT AND REMOVED 2'-0" FROM INSIDE OF THE EXISTING MASONRY WALLS.
D15	EXISTING VCT AND RUBBER BASE TO BE REMOVED.
D18	CONTRACTOR TO REMOVE ANY BENCHES AND LOCKERS AND LOCKER CURBS.
D19	EXISTING RESTROOM ACCESSORIES TO BE REMOVED. (TYPICAL)
D20	EXISTING FIRE EXTINGUISHERS TO BE HANDED OVER TO OWNER FOR STORAGE AND FIRE EXTINGUISHER CABINETS TO BE REMOVED. (TYPICAL)
D21	EXISTING DOOR AND HARDWARE TO BE REMOVED. EXISTING FRAME SHOULD REMAIN.
D22	EXISTING THERMOSTAT TO BE REMOVED. COORDINATE WITH MECHANICAL DRAWINGS.
D23	EXISTING COLUMNS TO REMAIN. PROTECT DURING DEMOLITION.
D24	EXISTING DOOR, FRAME, & HARDWARE TO REMAIN.
D25	CONTRACTOR SHALL PROVIDE AND INSTALL NEW WEATHER PROOF CAP OVER EXISTING CURBS WHERE EXHAUST FANS ARE REMOVED. CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND CONFIRM ALL LOCATIONS
D26	EXISTING CEILING TILES AND CEILING GRIDS TO BE REMOVED.

### DEMOLITION PLAN LEGEND

- EXISTING BUILDING ENVELOPE TO REMAIN
- AREAS NOT IN PROJECT SCOPE
- DASHED LINES TO REPRESENT EXISTING SAW CUT FLOORING



11 North Water Street, Suite 15250  
Mobile, AL 36602  
T 251.460.4006  
GMCNETWORK.COM

ISSUE	DATE
ISSUED FOR BID DEMO PKG	04/05/24
ADDENDUM #2	04/23/24

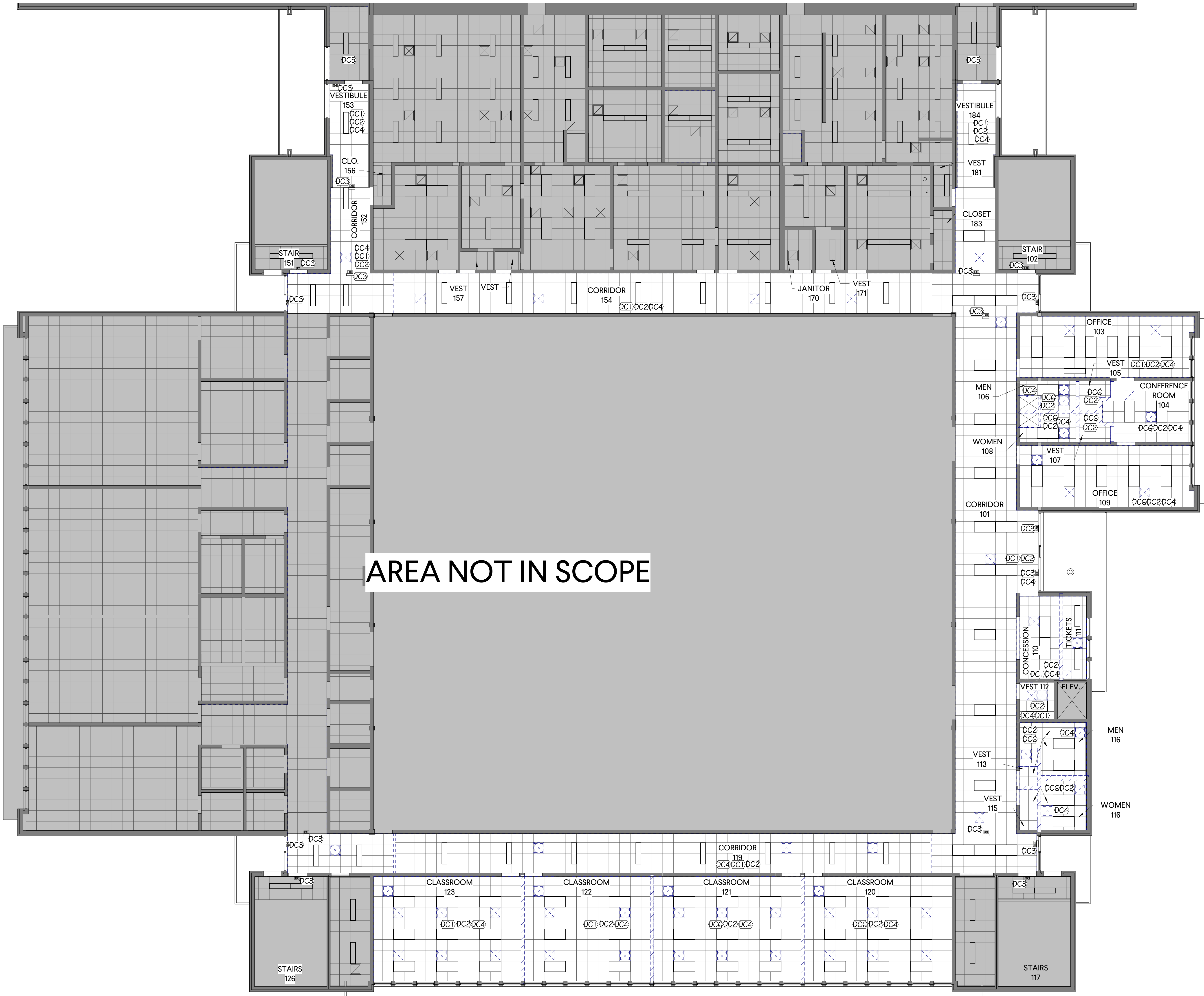
Renovations to the Fredericka G. Evans Cultural Center  
DEMOLITION PACKAGE

Bishop State Community College  
351 N. Broad St Mobile, AL 36603  
GMC # AMOB240022  
PERMIT # BLDC-131175-2024  
ACCS# 2021-030



DEMOLITION FLOOR PLAN - 1ST FLOOR  
D-A1.01  
sheet\_of

4/24/2024 10:45:56 AM TEMPLATE VERSION - 20211



1 DEMOLITION RCP - 1ST FLOOR  
PLAN NORTH  
SCALE: 1/8"=1'-0"

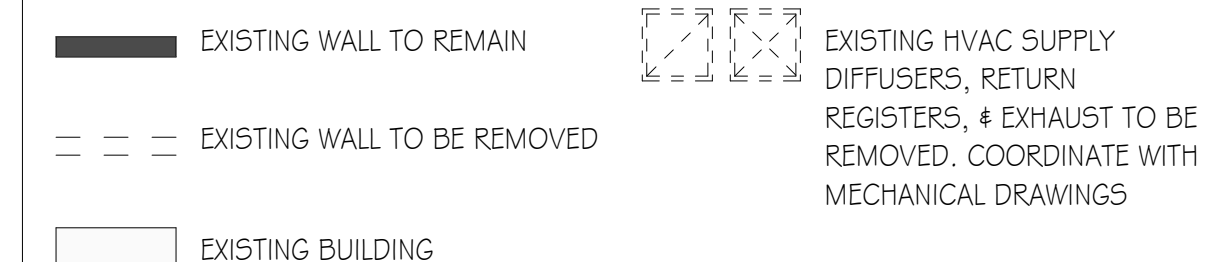
DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY EXCEPT FOR ITEMS THAT ARE CLEARLY IDENTIFIED PRIOR TO BIDDING AS SALVAGE. SALVAGED ITEMS (IF ANY) ARE TO BE REMOVED AND DELIVERED TO A LOCATION DESIGNATED BY THE OWNER.
- REFER TO ENGINEERING DRAWINGS FOR DEMOLITION OF PLUMBING MECHANICAL, AND ELECTRICAL WORK.
- CONTRACTOR(S) SHALL ENTIRELY REMOVE ALL ITEMS INDICATED TO BE REMOVED.
- PROTECT ALL FINISHES, EQUIPMENT, EXISTING INTERIOR AND EXTERIOR BUILDING AREAS AND SURFACES TO REMAIN.
- BURNING WILL NOT BE ALLOWED ONSITE.
- ALL WORK AND CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH SCHOOL ACTIVITIES AND TRAFFIC PATTERNS.
- REMOVE ALL CEILING, LIGHT FIXTURES, INSULATION, EMPTY OR ABANDONED CONDUITS, PIPING, SPACE HEATERS, DUCT WORK, EXHAUST FANS AND MOTORS, ELECTRICAL PANELS, AND ALL OTHER SWITCHES, DEVICES, EQUIPMENT, BLOCKING, ETC. THAT WILL NOT BECOME PART OF OR USED IN THE NEW CONSTRUCTION OR OPERATION OF THE NEW BUILDING. DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK OR AS DIRECTED BY THE ARCHITECT, COORDINATE WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE WEATHER TIGHTNESS OF THE BUILDING DURING THE REMOVAL AND REPLACEMENT OF THE ROOF TOP EQUIPMENT, EXTERIOR WINDOWS AND AT ALL TIMES DURING CONSTRUCTION FOR THE DURATION OF THE PROJECT. ANY DAMAGE TO EXISTING CONDITIONS SHALL BE REMOVED AND REPLACED WITH NEW, IMMEDIATELY AT NO COST TO THE OWNER. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS.
- THE CONTRACTOR SHALL PROTECT ALL LANDSCAPING, LAWNS, WALKWAYS, DRIVEWAYS, SIGNAGE, LIGHT FIXTURES, ELECTRICAL PANELS, ETC. DURING THE COURSE OF DEMOLITION AND CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REPLACED AT NO COST TO THE OWNER. CONTRACTOR SHALL REPAIR TIRE RUTS IN LAWNS AND SHALL REPLACE EXISTING SOD WITH NEW AT NO COST TO THE OWNER.
- CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF POWER OR OTHER UTILITIES.
- ALL EXISTING LOAD BEARING COLUMNS AND WALLS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

DEMOLITION REFLECTED CEILING PLAN NOTES

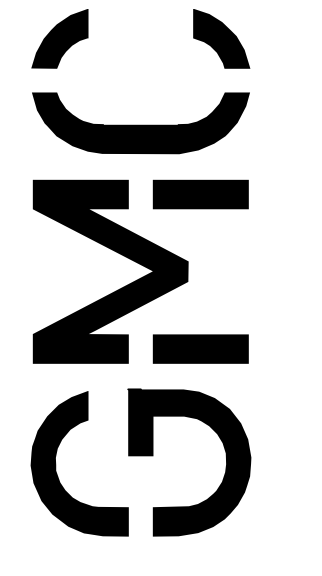
- REMOVE EXISTING CEILING SYSTEMS; INCLUDE ALL FINISHED CEILING AND ALL ASSOCIATED PARTS AS NOTED ON REFLECTED CEILING PLANS.
- EXISTING LIGHT FIXTURES IN EXISTING CEILING TO REMAIN. COORDINATE WITH ELECTRICAL DOCUMENTS FOR ELECTRICAL DEMOLITION.
- COORDINATE WITH MECHANICAL DOCUMENTS REGARDING MECHANICAL DEMOLITION.
- DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION AND WHAT SHOULD BE DEMOLISHED.

DEMOLITION RCP LEGEND



KEY NOTES - DEMOLITION RCP

KEY	KEYNOTE
DC1	REMOVE EXISTING CEILING TILE. CEILING GRID TO REMAIN.
DC2	EXISTING LIGHTING TO REMAIN DURING DEMOLITION PHASE.
DC3	EXISTING EXIT LIGHTING TO REMAIN DURING DEMOLITION PHASE.
DC4	COORDINATE WITH MECHANICAL DRAWINGS FOR EXISTING MECHANICAL EQUIPMENT AND RETURN AND SUPPLY DIFFUSERS THAT WILL BE DEMOLISHED.
DC5	EXISTING CEILING TILE AND GRID TO REMAIN.
DC6	REMOVE EXISTING CEILING TILE AND GRID.



11 North Water Street, Suite 15250  
Mobile, AL 36602  
T 251.460.4006  
GMCNETWORK.COM

ISSUE DATE

ISSUED FOR BID DEMO PKG 04/05/24  
ADDENDUM #2 04/23/24

DRAWN BY: Author  
CHECKED BY: Checker

Renovations to the Fredericka G. Evans Cultural Center  
Bishop State Community College  
351 N. Broad St Mobile, AL 36603



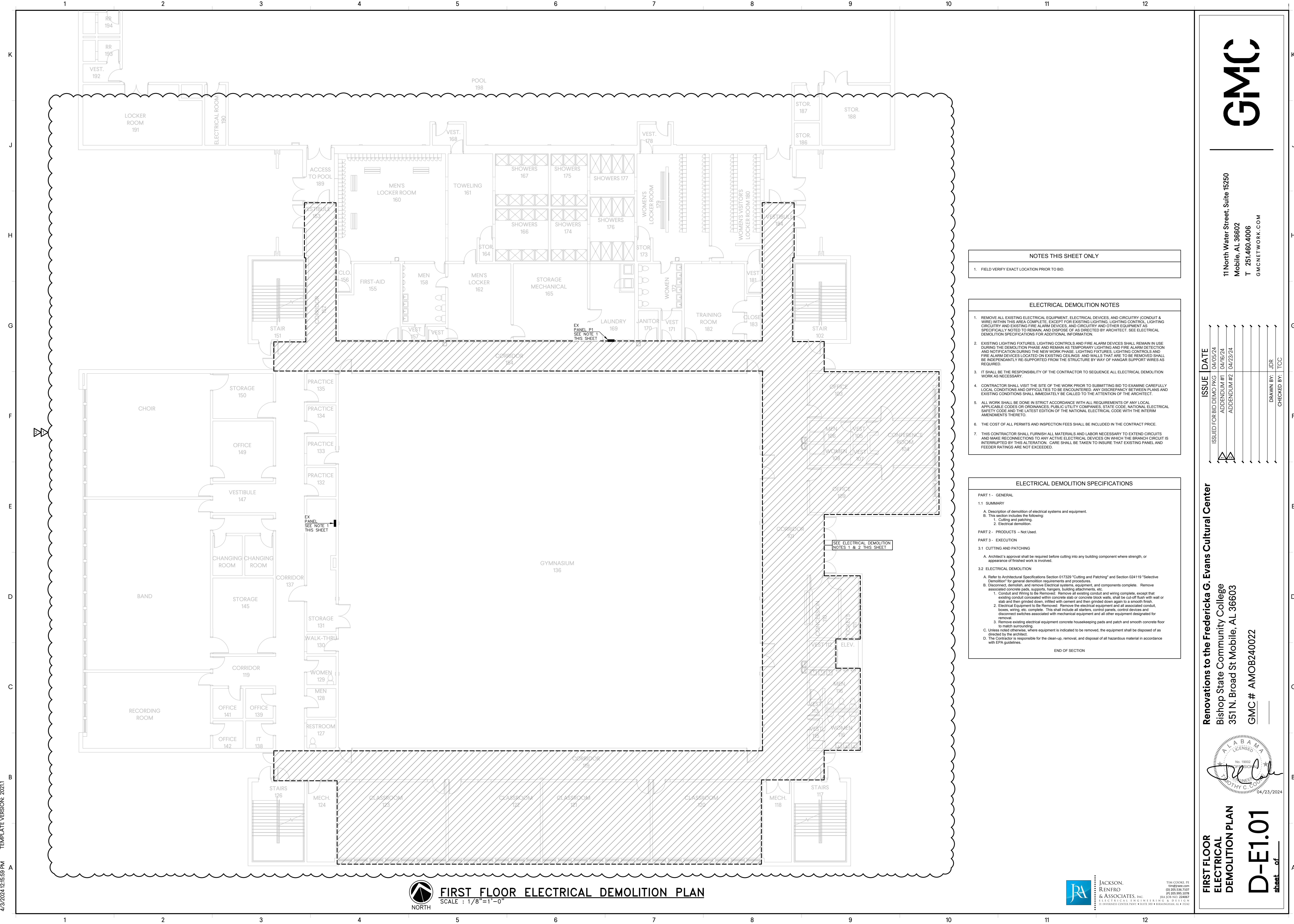
GMC # AMOB240022  
PERMIT # BLDG-131175-2024  
ACCS# 2021-030  
D-A2.01  
sheet of











**NOTES THIS SHEET ONLY**

- FIELD VERIFY EXACT LOCATION PRIOR TO BID.

**ELECTRICAL DEMOLITION NOTES**

- REMOVE ALL EXISTING ELECTRICAL EQUIPMENT, ELECTRICAL DEVICES, AND CIRCUITRY (CONDUIT & WIRE) WITHIN THIS AREA COMPLETE, EXCEPT FOR EXISTING LIGHTING, LIGHTING CONTROL, LIGHTING CIRCUITRY AND EXISTING FIRE ALARM DEVICES, AND CIRCUITRY AND OTHER EQUIPMENT AS SPECIFICALLY NOTED TO REMAIN, AND DISPOSE OF AS DIRECTED BY ARCHITECT. SEE ELECTRICAL DEMOLITION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- EXISTING LIGHTING FIXTURES, LIGHTING CONTROLS AND FIRE ALARM DEVICES SHALL REMAIN IN USE DURING THE DEMOLITION PHASE AND REMAIN AS TEMPORARY LIGHTING AND FIRE ALARM DETECTION AND NOTIFICATION DURING THE NEW WORK PHASE. LIGHTING FIXTURES, LIGHTING CONTROLS AND FIRE ALARM DEVICES LOCATED ON EXISTING CEILINGS AND WALLS THAT ARE TO BE REMOVED SHALL BE INDEPENDENTLY RE-SUPPORTED FROM THE STRUCTURE BY WAY OF HANGAR SUPPORT SHALL AS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE ALL ELECTRICAL DEMOLITION WORK AS NECESSARY.
- CONTRACTOR SHALL VISIT THE SITE OF THE WORK PRIOR TO SUBMITTING BID TO EXAMINE CAREFULLY LOCAL CONDITIONS AND DIFFICULTIES TO BE ENCOUNTERED. ANY DISCREPANCY BETWEEN PLANS AND EXISTING CONDITIONS SHALL IMMEDIATELY BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF ANY LOCAL APPLICABLE CODES OR ORDINANCES, PUBLIC UTILITY COMPANIES, STATE CODE, NATIONAL ELECTRICAL SAFETY CODE AND THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE WITH THE INTERIM AMENDMENTS THERETO.
- THE COST OF ALL PERMITS AND INSPECTION FEES SHALL BE INCLUDED IN THE CONTRACT PRICE.
- THIS CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR NECESSARY TO EXTEND CIRCUITS AND MAKE RECONNECTIONS TO ANY ACTIVE ELECTRICAL DEVICES ON WHICH THE BRANCH CIRCUIT IS INTERRUPTED BY THIS ALTERATION. CARE SHALL BE TAKEN TO INSURE THAT EXISTING PANEL AND FEEDER RATINGS ARE NOT EXCEEDED.

**ELECTRICAL DEMOLITION SPECIFICATIONS**

PART 1 - GENERAL

1.1 SUMMARY

A. Description of demolition of electrical systems and equipment.

B. This section includes the following:

- Cutting and patching.
- Electrical demolition.

PART 2 - PRODUCTS - Not Used.

PART 3 - EXECUTION

3.1 CUTTING AND PATCHING

A. Architect's approval shall be required before cutting into any building component where strength, or appearance of finished work is involved.

3.2 ELECTRICAL DEMOLITION

A. Refer to Architectural Specifications Section 017209 "Cutting and Patching" and Section 024119 "Selective Demolition" for general demolition requirements and procedures.

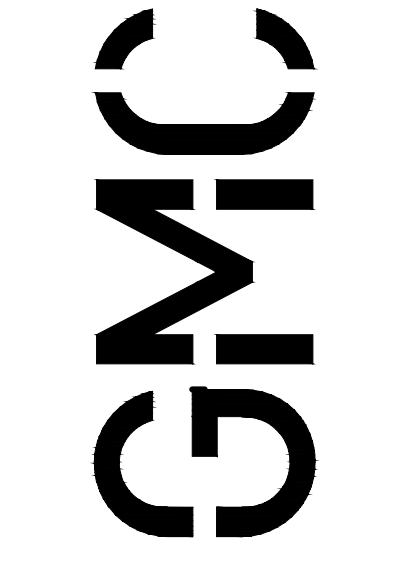
B. Disconnect, demolish, and remove Electrical systems, equipment, and components complete. Remove associated concrete pads, supports, hangers, building attachments, etc.

- Conduit and Wiring to Be Removed: Remove all existing conduit and wiring complete, except that existing conduit concealed within concrete slab or concrete block walls, shall be cut-off flush with wall or slab and then grinded down, infilled with cement and then grinded down again to a smooth finish.
- Electrical Equipment to Be Removed: Remove the electrical equipment and all associated conduit, boxes, wiring, etc. complete. This shall include all starters, control panels, control devices and disconnect switches associated with mechanical equipment and all other equipment designated for removal.
- Remove existing electrical equipment concrete housekeeping pads and patch and smooth concrete floor to match surrounding.

C. Unless noted otherwise, where equipment is indicated to be removed, the equipment shall be disposed of as directed by the architect.

D. The Contractor is responsible for the clean-up, removal, and disposal of all hazardous material in accordance with EPA guidelines.

END OF SECTION

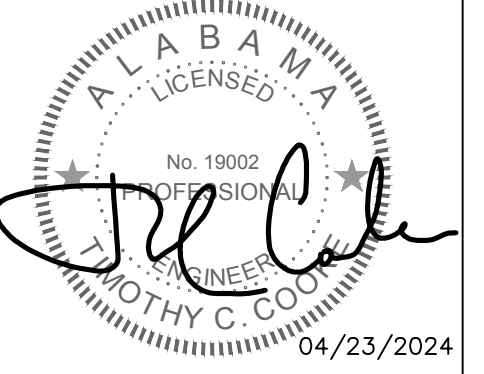


11 North Water Street, Suite 15250  
 Mobile, AL 36602  
 T 251.460.4006  
 GMCNETWORK.COM

ISSUE	DATE
ISSUED FOR BID DEMO PKG	04/05/24
ADDENDUM #1	04/16/24
ADDENDUM #2	04/23/24

DRAWN BY: JDR  
 CHECKED BY: TCC

**Renovations to the Fredericka G. Evans Cultural Center**  
 Bishop State Community College  
 351 N. Broad St Mobile, AL 36603  
 GMC # AMOB240022



**FIRST FLOOR ELECTRICAL DEMOLITION PLAN**  
**D-E1.01**  
 sheet of



**FIRST FLOOR ELECTRICAL DEMOLITION PLAN**  
 SCALE : 1/8"=1'-0"

4/23/2024 12:45:59 PM TEMPLATE VERSION: 20211