

Goodwyn Mills Cawood 11 North Water Street Suite 15250 Mobile, Alabama 36602 T 251.460.4006 F 251.460.4423

FASCIMILE TRANSMITTAL COVER SHEET

DATE: April 24, 2024

TO: Doris Furr

FROM: Planholder

PROJECT: RENOVATIONS TO FREDERICKA G. EVANS CULTURAL CENTER

For BISHOP STATE COMMUNITY COLLEGE

GMC PROJECT NO. AMOB240022

RE: ADDENDUM NO. 2 AND ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM NO. 2

ACKNOWLEDGEMENT OF RECEIPT:

PLEASE PRINT RECIPIENT'S NAME, FIRM, AND DATE RECEIVED.

THEN FAX BACK TO (251) 460-4423 or EMAIL doris.furr@gmcnetwork.com
FOR OUR RECORDS AND TO ACKNOWLEDGE YOUR RECEIPT OF THIS ADDENDUM.

NAM	(PLEASE P	PRINT)	
FIRM	(PLEASE PR	<u>IINT)</u>	
DATE	RECEIVED	(PLEASE PRIN	D)

BISHOP STATE COMMUNITY COLLEGE

ADDENDUM NUMBER 2

April 24, 2024

PROJECT:

RENOVATIONS TO FREDERICKA G. EVANS CULTURAL CENTER BISHOP STATE COMMUNIT COLLEGE GMC PROJECT NO. AMOB240022

AD2-1 CLARIFICATIONS / RFI RESPONSES / ADDITIONS / ETC.:

- A. Bidders shall acknowledge receipt of the Addendum in writing, as provided on the Acknowledgment Receipt.
- B. Scope has changed. The entire set of drawings should be replaced with the set provided with this Addendum.

AD2-2 ISSUED SPECIFICATIONS:

A. None

AD2-3 ISSUED DRAWINGS:

A. Replace ALL sheets. D-A1.02, D-A2.02, and D-E1.02 are no longer in set.

AD2-4 ATTACHMENTS:

A. D-G1.01 – COVERSHEET

D-G1.02 – GENERAL NOTES & BUILDING CODE SUMMARY

D-A1.01 – DEMOLITION FLOOR PLAN – 1ST FLOOR

D-A2.01 – DEMOLITION RCP- 1ST FLOOR

D-A4.01 – EXISTING CONDITIONS

D-M1.01 - DEMOLITION FLOOR PLAN-HVAC

D-P1.01 - DEMOLITION FLOOR PLAN - PLUMBING

D-E1.01 – FIRST FLOOR ELECTRICAL DEMOLITION PLAN

END OF ADDENDUM

PREPARED BY

Goodwyn Mills Cawood, LLC 11 North Water Street, Suite 15250 Mobile, Alabama 36602 T 251.460.4006



BISHOP STATE COMMUNITY COLLEGE MAIN CAMPUS

RENOVATIONS TO THE FREDERICKA G. EVANS CULTURAL CENTER

DEMOLITION PACKAGE

FOR THE ALABAMA COMMUNITY COLLEGE SYSTEM

MOBILE, ALABAMA

GOODWYN MILLS & CAWOOD, LLC

ARCHITECTURE & INTERIORS

11 NORTH WATER STREET, SUITE 15250 MOBILE, AL 36602

251-460-4006 CONTACT: JIM WALKER, AIA

MW/ DAVIS DUMAS & ASSOCIATES, INC.

MECHANICAL, FIRE PROTECTION & PLUMBING ENGINEERING 4500 SOUTHLAKE PARK, SUITE 200 HOOVER, AL 35244

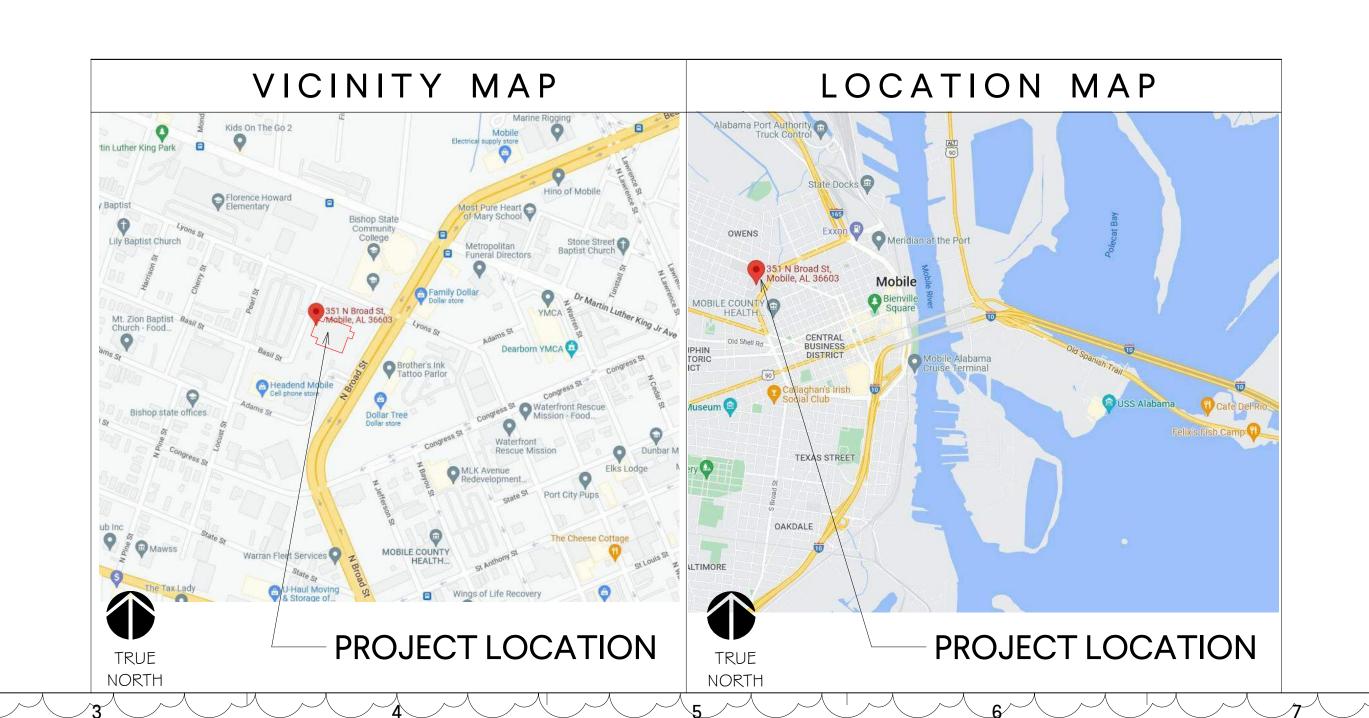
205-252-0246 EXT.242 CONTACT: SAM DAVIS, PE

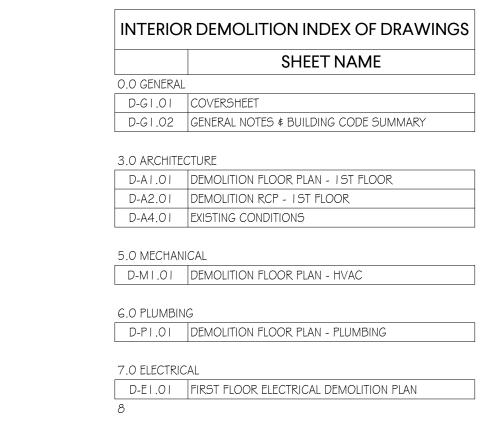
JACKSON RENFRO & ASSOCIATES, INC.

ELECTRICAL ENGINEERING 31 INVERNESS CENTER PARKWAY, SUITE 300 BIRMINGHAM, AL 35242 205-536-7107 CONTACT: TIM COOKE, PE

BARTER & ASSOCIATES, INC.

STRUCTURAL ENGINEERING 1614 GOVERNMENT STREET, MOBILE, AL 36604 251-473-8354 CONTACT: JAMES RUSSELL, PE





City of Mobile · Permitting Total Lot Area (sf) Existing Building Gross Area of Building All floors (sf) Existing Building **Building Code Summary** Total Building Footprint** (sf) Existing Building Building Building Building **to include all buildings on the site, including detached garages, storage sheds, etc. For All Commercial Projects Number of Stories: 2 Is there a basement? O Yes

No Information to be copied and placed on drawings **Existing Buildings** The building will remain in operation during construction O Yes

No If yes, add provisions for rigid safety barriers and dust barriers to protect the public during construction in accordance with the applicable provisions of IBC Chapter 33. Yellow safety tape is not acceptable. Provide Level of Alterations per IEBC □ 1 ■ 2 □ 3 Renovations (Change of Occupancy) Is the work in this building or space changing the occupancy type or use? O Yes O No Is this building a Historic Building? O Yes

No □IA □IB □IIA ■IIB □IIIA □IIIB DIVA DIVB DIVC DIVHT DVA DVB 2020 National Electrical Code 2021 International Mechanical Code Occupant Loads 2021 International Plumbing Code □ A-1 □ A-2 ■ A-3 Assembly 303 ■ A-4 ☑ Business 304 ■ 2015 International Energy Conservation Code
□ 2021 International Fuel Gas Code ☐ Education 305 ☐ Factory Industrial 306 □ H-1 □ H-2 ☐ High-Hazard 307 □ Addition □ Alteration □ New Construction ■Renovation of Existing Building □ Tenant Build-Out □ Shell ☐ Institutional 308 □ I-1 □ I-2 ____ ☐ Mercantile 309 ☐ Residential 310 □ R-1 □ R-2 The renovation of the existing building consists of selective demolition of finishes, accessories, walls, doors, frames, hardware ☐ Storage 311 ■ S-1 □ S-2 ☐ Utility & Miscellaneous 312 TOTAL OCCUPANT LOAD Scope of Work - Electrical: The renovation of the existing building for the electrical scope of work consists of selective demolition **Building Element** Required Rating UL No. * of existing lights and wiring, outlets and wiring in walls being demolished, data outlets and wiring in walls being demolished, any electrical Structural frame; columns, girders, trusses connected to HVAC equipment that is being demolished. A new construction package that includes new electrical work will be in a Bearing walls exterior Bearing walls interior Scope of Work – Mechanical / Refrigeration: The renovation of the existing building for the mechanical scope of work consists Non-bearing walls & partitions exterior of selective demolition of existing mechanical HVAC supply and return devices, ductwork, and equipment. A new construction package Non-bearing walls & partitions interior Floor construction; supporting beams and joists Roof construction; supporting beams and joists Scope of Work – Plumbing: The renovation of the existing building for the plumbing scope of work consists of selective demolition Sprinkler system? of existing plumbing fixtures, piping, and any plumbing connected to HVAC equipment that is being demolished. A new construction If "YES", provide Commercial Sprinkler Owners Information Certification: Click here to access the form, Sprinkler type □ No □ Wet □ Dry Class_____ Standpipes?

Build Mobile, PO Box 1827, Mobile, Alabama 36633

For more information: www.BuildMobile.org | permitting@cityofmobile.org | 251,208.7198 /isit our help window: Mobile Government Plaza, 205 Government Street, Third Floor South Tower

NOT ADDING PLUMBING FIXTURES IN THE DEMO PACKAGE. IPC TABLE 403.1 - TOTAL NUMBER OF REQUIRED FIXTURES SERVICE MISC MISC FOUNTAIN SINK

Fire Department Requirements: The design professional shall provide the following required fire protection elements for the Required water supply _____ GPM @ _____ PSI

__ Illinois Institute of Technology (IIT) Method) ______ International Fire Code 2021 (IFC)

Method Used:

Fire / Smoke Alarm?

Key Boxes IFC 506: O Yes O No Locks: O Yes O No

**required for buildings with fire protection systems, gates, non-standard fire service access i.e., elevators Emergency Responder Communication Coverage IFC 510: O Yes O No **Signal strength survey required for structures over 50,000 SF, over three stories high, or those having a basement. This

requirement may be requested for structures not meeting these parameters.

The Insurance Service Office (ISO) Method

Provide a Life Safety Plan (LSP) for all commercial projects: O Yes O No **At a minimum, the Life Safety Plan shall illustrate the use for all areas, occupant loads for all areas, exit locations, exit access, exit capacity, maximum travel distance, exit lights, emergency lights, fire extinguishers, fire rated assemblies,

Compliance Statement required for Fire Approval: O Yes O No

assembly area seating layout and exit discharge.

**Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.

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DIVISION 1 - GENERAL REQUIREMENTS

I.OI. COMPLETE CONTRACT DOCUMENTS: COMPLETE DRAWINGS, SPECIFICATIONS, ADDENDA, AND CLARIFICATIONS ISSUED BY FIELD ORDER OR SIMILAR INSTRUMENTS CONSTITUTE THE CONTRACT DOCUMENTS AND SHALL REMAIN INTACT. GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS INCLUDED, OR REASONABLY INFERRED THEREIN. CONSTRUCTION MANAGER OR GENERAL CONTRACTOR (AS APPLICABLE) MUST NOT ISSUE PARTIAL SETS OR OTHERWISE CAUSE INCOMPLETE CONTRACT INFORMATION TO BE PROVIDED TO PARTIES TO THE CONTRACT, INCLUDING ASSOCIATED SUB-- CONTRACTORS, OR SUB-SUB-CONTRACTORS.

I.O2. MULTI-TRADE COORDINATION: ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES TO AVOID INTERFERENCES AND CONFLICTS. NO ALLOWANCES WILL BE MADE FOR CONTRACTOR'S FAILURE TO COORDINATE BETWEEN MULTIPLE DISCIPLINES, SYSTEMS OR EQUIPMENT. UNCOORDINATED WORK THAT RESULTS IN THE INEFFICIENT USE OF AVAILABLE SPACE AND/OR ENCROACHES ON THE WORK OF OTHER TRADES WILL BE SUBJECT TO REJECTION AND RE-INSTALLATION.

I.O3. VERIFICATION: GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, CONSTRUCTION, MATERIALS, METHODS OF CONSTRUCTION, GRADES AND ELEVATIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS WITHIN THE DOCUMENTS PRIOR TO BID. CONSTRUCTION, AND/OR INSTALLATION OF ASSOCIATED WORK, COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE THAT THE EXISTING CONDITIONS ARE CONSISTENT WITH THOSE OF THE CONTRACT DOCUMENTS. ANY CHANGE ORDER REQUEST ASSOCIATED WITH AN IDENTIFIABLE EXISTING CONDITION, WHETHER IN CONFLICT OR COMPLIANCE WITH THE CONTRACT DOCUMENTS, WILL NOT BE ACCEPTED. THIS PROVISION SHALL NOT APPLY TO WORK PERFORMED UNDER UNIT PRICE OR ALLOWANCE FEE STRUCTURES.

1.04. DISCREPANCIES: GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT PROMPTLY UPON IDENTIFICATION OF ANY DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS. WITH THE OBJECTIVE OF RESOLVING THE CONFLICT OR DISCREPANCY IN A TIMELY MANNER AND PRIOR TO ANY IMPACT TO CONTRACT TIME OR CONTRACT COST. GENERAL CONTRACTOR SHALL INCLUDE THE MORE EXPENSIVE, COMPLEX, AND TIME CONSUMING COMPONENTS OF ANY DISCREPANCIES IN THE BASE BID PRICE. FAILURE TO NOTIFY THE ARCHITECT PROMPTLY OF A KNOWN DISCREPANCY CONSTITUTES ACCEPTANCE OF FULL RESPONSIBILITY FOR THE ASSOCIATED COST AND SCHEDULE IMPACT.

1.05. DRAWING SCALE: REPROGRAPHIC TECHNIQUES MAY RENDER DRAWINGS DIFFERENTLY THAN THE INTENDED PRINTED SCALE. THEREFORE, DO NOT RELY UPON THE SCALE OF ANY PRINTED DRAWINGS. CONTACT THE ARCHITECT FOR REQUIRED DIMENSIONS THAT ARE NOT PROVIDED CLEARLY IN NUMERIC FORM HEREIN. FAILURE TO REQUEST CRITICAL DIMENSIONAL INFORMATION FROM THE ARCHITECT MAY RESULT IN THE REJECTION OF INSTALLED WORK.

- I.OG. DIMENSIONAL STANDARDS: STANDARD DIMENSION CONVENTIONS UTILIZED HEREIN CALL FOR DIMENSIONS TO FACE OF STUD (MASONRY) OF FINISHED PARTITION, FACE OF FINISH, OR CENTERLINE OF COLUMN LINE OR OTHER REFERENCE LINE, UNLESS OTHERWISE NOTED OR GRAPHICALLY ILLUSTRATED. DIMENSIONS NOTED AS "CLEAR". "MIN", OR "MAX" SHALL BE STRICTLY
- I.07. {PM SOFTWARE}

1.08. PERMITTING: THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY AND REQUIRED PERMITS AND APPROVALS FROM JURISDICTIONAL AUTHORITIES, PRIOR TO COMMENCING THE WORK. THIS REQUIREMENT SHALL APPLY TO ON-SITE AND OFF-SITE WORK REQUIRED BY THE CONTRACT DOCUMENTS.

1.09. CODE COMPLIANCE: THE WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE LAWS. CODES. AND ORDINANCE. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL PERFORM THEIR WORK IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, LAWS, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CAREFULLY READ AND FAMILIARIZE THEMSELVES WITH THE CODE COMPLIANCE DATA INCLUDED IN THE DRAWINGS AND SPECIFICATIONS.

1.10. NOT USED

I.II. TEMPORARY GUARDS: THE GENERAL CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY GUARDS AT ALL SLAB EDGES, PIT EDGES, ELEVATED PLATFORM EDGES, AND SIMILAR CONDITIONS WHERE REQUIRED BY OSHA, ANY APPLICABLE CODE OR ORDINANCE, AND AT MINIMUM ALL CHANGES IN ELEVATION IN EXCESS OF THIRTY INCHES (30") INCLUDING BOTH SIDES OF STAIRS AND LADDERS. TEMPORARY GUARDS MUST BE MAINTAINED UNTIL THE PERMANENT GUARDS ARE INSTALLED.

- 1.12. LIFE-SAFETY MEASURES DURING CONSTRUCTION: THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS REQUIRED BY OSHA, CODE, AND OTHER APPLICABLE REGULATORY AUTHORITIES.
- I.I3. MEANS OF EGRESS: THE GENERAL CONTRACTOR SHALL MAINTAIN CLEAR AND UNOBSTRUCTED MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION, WITHOUT EXCEPTION.
- 1.14. CONSTRUCTION LOADS: THE GENERAL CONTRACTOR SHALL NEVER LOAD NEW OR EXISTING CONSTRUCTION BEYOND ITS DESIGN CAPACITY WITH STORED MATERIAL, CONSTRUCTION EQUIPMENT, TEMPORARY LOADS ASSOCIATED WITH MATERIAL MOVEMENT, HOISTING, STORAGE, OR SIMILAR CONDITIONS.

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- 1.15. GENERAL CLEAN-UP: THE GENERAL CONTRACTOR SHALL INCLUDE ONGOING CLEAN-UP OF THE PROPERTY AND BUILDING, INCLUDING REMOVAL OF TRASH AND WASTE MATERIALS, ON A REGULAR BASIS DURING CONSTRUCTION. RECYCLING OF
- I.IG. OWNER FURNISHED EQUIPMENT: LOOSE FURNISHINGS, WORKSTATIONS, OFFICE EQUIPMENT, COPIERS, VENDING MACHINES, KITCHEN EQUIPMENT, AND SIMILAR ITEMS THAT ARE BOTH LABELED "OWNER FURNISHED" OR "OF/OI", AND SHOWN DASHED OR IN GRAY-TONE SHALL BE CONSIDERED OWNER-FURNISHED EQUIPMENT. OWNER-FURNISHED EQUIPMENT IS SHOWN FOR GENERAL CONTRACTOR SHALL CAREFULLY REVIEW THE SCOPE OF WORK, AND REQUEST CLARIFICATION FROM THE ARCHITECT IN THE EVENT OF ANY UNCERTAINTY ABOUT THE DEFINITION OF OWNER FURNISHED WORK.

CONSTRUCTION WASTE IS ENCOURAGED.

- I.I7. (OPTIONAL RENOVATION) PARTITION DESIGNATION: EXISTING PARTITIONS SCHEDULED TO BE REMOVED ARE ILLUSTRATED AS DASHED LINES ON THE PLANS LABELED "DEMOLITION PLAN(S)". EXISTING PARTITIONS TO REMAIN ARE ILLUSTRATED IN GRAY-TONE (SCREENED). NEW WORK IS ILLUSTRATED IN BLACK-LINE IN NEW CONSTRUCTION PACKAGE.
- 1.18. (OPTIONAL RENOVATION) PROTECTION: EXISTING OCCUPIED AREAS, AND WORK TO REMAIN AFTER CONSTRUCTION, SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES. PROTECTION SHALL ENCOMPASS CONSTRUCTION OF TEMPORARY BARRIERS, MAINTENANCE OF EXISTING MECHANICAL, FIRE PROTECTION, AND ELECTRICAL SYSTEMS, AND PHYSICAL PROTECTION OF WORK TO REMAIN THAT IS SUBJECT TO DAMAGE FROM CONSTRUCTION ACTIVITIES. THE GENERAL CONTRACTOR SHALL REPAIR OR REPLACE EXISTING WORK SCHEDULED TO REMAIN, THAT IS DAMAGED DURING CONSTRUCTION DUE TO INSUFFICIENT PROTECTION.
- I.19. {OPTIONAL HC RENOVATION} PROTECTION: EXISTING OCCUPIED AREAS OF THE BUILDING SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS FOR THE DURATION OF THE WORK, THESE PROVISIONS INCLUDE BUT ARE NOT LIMITED TO: INFECTION CONTROL REQUIREMENTS SPECIFIED ELSEWHERE, CONSTRUCTION OF TEMPORARY BARRIERS, PROVISIONS FOR SEALING OF EXISTING DUCTWORK, TEMPORARY VENTILATION INCLUDING HEPA FILTRATION, SOUND ISOLATION, AND PREVENTION OF CONDITIONED
- 1.20. {OPTIONAL HC RENOVATION} SERVICE INTERRUPTION: ANY SERVICE INTERRUPTION MUST BE SCHEDULED IN ADVANCE WITH THE OWNER'S AUTHORIZED REPRESENTATIVE. WHETHER SUCH INTERRUPTION IS FOR ADDITION, MODIFICATION, OR TESTING OF ANY EXISTING SERVICE, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO MINIMIZE INTERRUPTION TO THE EXISTING FACILITY.

1.21. {OPTIONAL - TEMPORARY BRACING}: PRIOR TO REMOVAL OF ANY EXISTING STRUCTURAL ELEMENTS, THE GENERAL CONTRACTOR SHALL TEMPORARILY SHORE AND/OR BRACE EXISTING CONSTRUCTION TO REMAIN AS REQUIRED TO SUPPORT EXISTING LOADS AND/OR LOADS IMPOSED DURING CONSTRUCTION. FURTHER, THE GENERAL CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ANY TEMPORARY BRACING OR SUPPORT FRAMING REQUIRED TO SUPPORT NEW CONSTRUCTION COMPONENTS WHICH ARE NOT FULLY SECURED IN A COMPLETE STRUCTURAL ASSEMBLY. OR ARE OTHERWISE SUBJECTED TO LOADS IN EXCESS OF THE POST-CONSTRUCTION LOADS FOR WHICH THE ELEMENT IS DESIGNED.

☐ Risk Cat. IV-179MPH

DIVISION 3 - CONCRETE

3.03. CORE DRILLING - FLOOR SLABS: THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF THE LOCATION AND DIMENSION OF ANY PROPOSED CORES THROUGH STRUCTURAL FLOOR SLABS, PRIOR TO COMMENCING CORING ACTIVITIES. CORE DRILLING IS STRICTLY PROHIBITED (SLEEVES ONLY) IN ANY POST-TENSIONED STRUCTURED FLOOR SLAB

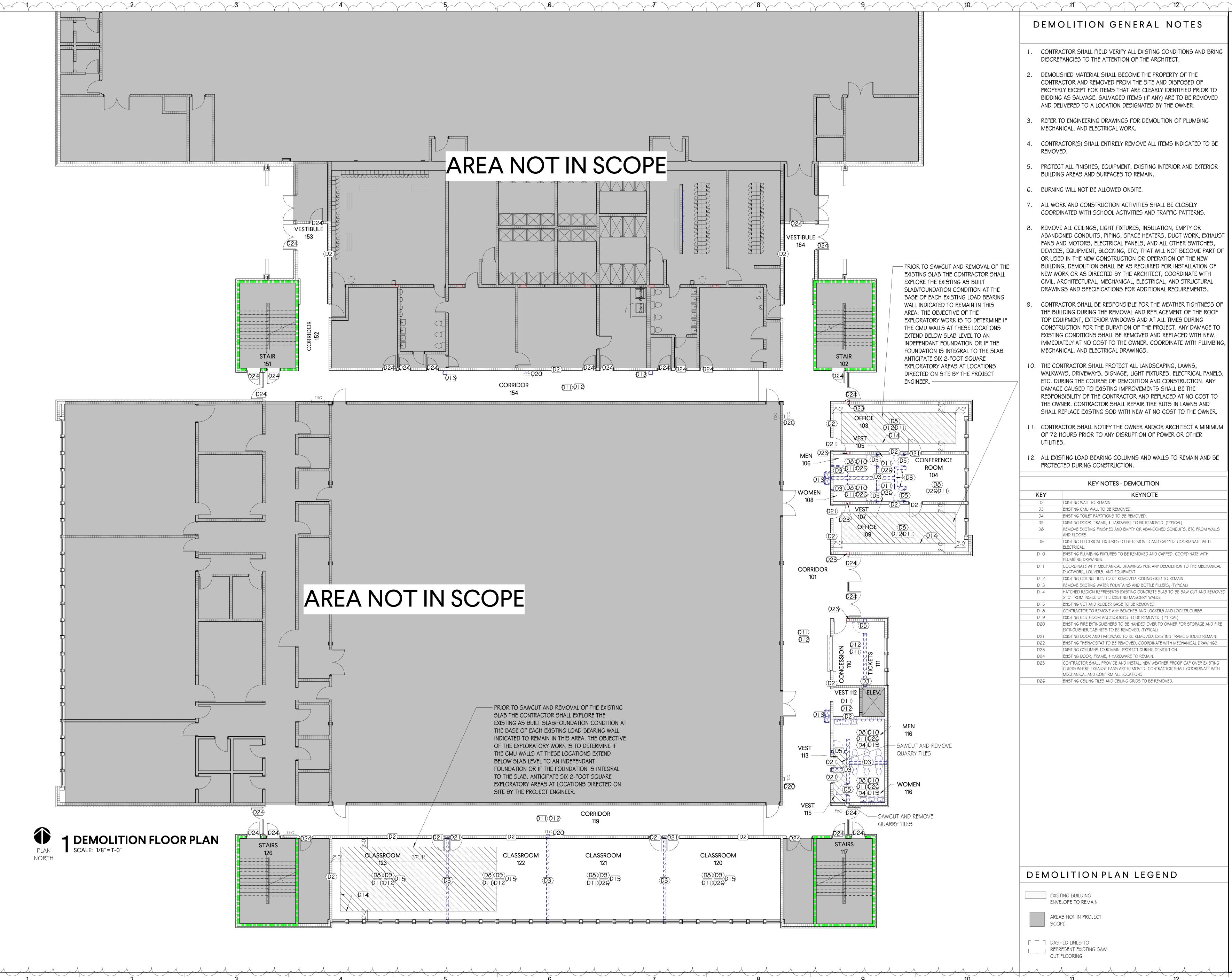
DIVISION 21 - FIRE SUPPRESSION

21.03. FIRE PROTECTION PIPING: SPRINKLER PIPING SHALL BE UNENCUMBERED BY THE WORK OF ANY OTHER TRADE THROUGHOUT THE ENTIRE BUILDING. UNDER NO CIRCUMSTANCES SHALL ANYTHING BE SUPPORTED BY, DRAPED OVER, TIED-OFF TO, OR SUSPENDED BY, SPRINKLER PIPING. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CONTINUOUSLY MONITOR ONGOING WORK IN THE VICINITY OF SPRINKLER PIPING AND SHALL DIRECT ANY OTHER CONTRACTOR OR TRADESMAN TO IMMEDIATELY REMOVE AND RE-INSTALL ANY ITEM NOT IN COMPLIANCE WITH THIS REQUIREMENT.

Revised December 2023

Revised December 2023

lowa State University (ISU) Method,



PLAN

NORTH

DEMOLITION GENERAL NOTES

I. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING

2. DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY EXCEPT FOR ITEMS THAT ARE CLEARLY IDENTIFIED PRIOR TO BIDDING AS SALVAGE. SALVAGED ITEMS (IF ANY) ARE TO BE REMOVED

AND DELIVERED TO A LOCATION DESIGNATED BY THE OWNER.

3. REFER TO ENGINEERING DRAWINGS FOR DEMOLITION OF PLUMBING MECHANICAL, AND ELECTRICAL WORK.

4. CONTRACTOR(S) SHALL ENTIRELY REMOVE ALL ITEMS INDICATED TO BE

PROTECT ALL FINISHES, EQUIPMENT, EXISTING INTERIOR AND EXTERIOR

7. ALL WORK AND CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH SCHOOL ACTIVITIES AND TRAFFIC PATTERNS.

REMOVE ALL CEILINGS, LIGHT FIXTURES, INSULATION, EMPTY OR ABANDONED CONDUITS, PIPING, SPACE HEATERS, DUCT WORK, EXHAUST FANS AND MOTORS, ELECTRICAL PANELS, AND ALL OTHER SWITCHES, DEVICES, EQUIPMENT, BLOCKING, ETC, THAT WILL NOT BECOME PART OF OR USED IN THE NEW CONSTRUCTION OR OPERATION OF THE NEW BUILDING, DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK OR AS DIRECTED BY THE ARCHITECT, COORDINATE WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE WEATHER TIGHTNESS OF THE BUILDING DURING THE REMOVAL AND REPLACEMENT OF THE ROOF TOP EQUIPMENT, EXTERIOR WINDOWS AND AT ALL TIMES DURING CONSTRUCTION FOR THE DURATION OF THE PROJECT. ANY DAMAGE TO EXISTING CONDITIONS SHALL BE REMOVED AND REPLACED WITH NEW, IMMEDIATELY AT NO COST TO THE OWNER. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS.

10. THE CONTRACTOR SHALL PROTECT ALL LANDSCAPING, LAWNS, WALKWAYS, DRIVEWAYS, SIGNAGE, LIGHT FIXTURES, ELECTRICAL PANELS, ETC. DURING THE COURSE OF DEMOLITION AND CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REPLACED AT NO COST TO THE OWNER. CONTRACTOR SHALL REPAIR TIRE RUTS IN LAWNS AND SHALL REPLACE EXISTING SOD WITH NEW AT NO COST TO THE OWNER.

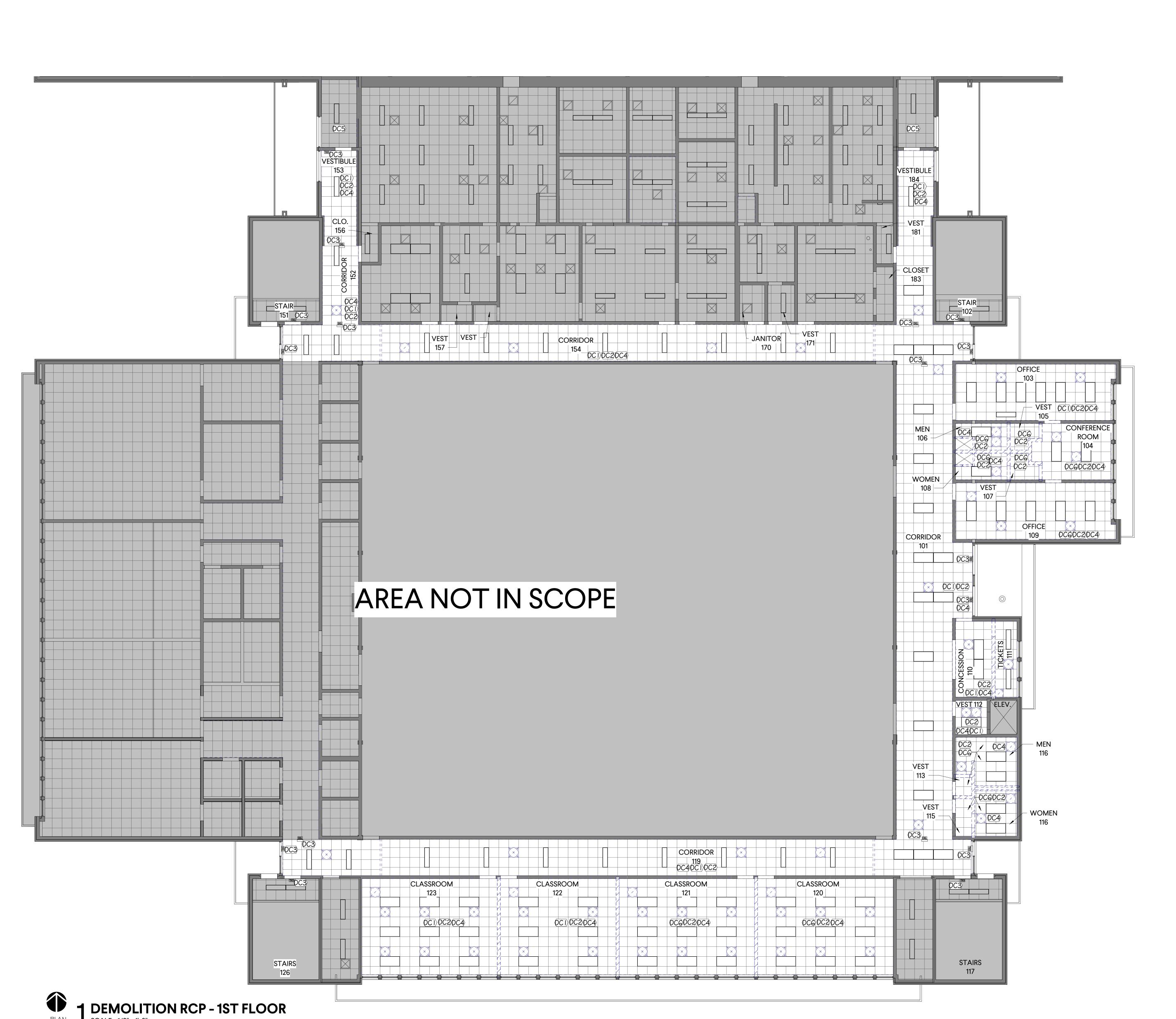
II. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF POWER OR OTHER

12. ALL EXISTING LOAD BEARING COLUMNS AND WALLS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

KEY NOTES - DEMOLITION			
KEY	KEYNOTE		
D2	EXISTING WALL TO REMAIN.		
D3	EXISTING CMU WALL TO BE REMOVED.		
D4	EXISTING TOILET PARTITIONS TO BE REMOVED.		
D5	EXISTING DOOR, FRAME, & HARDWARE TO BE REMOVED. (TYPICAL)		
D8	REMOVE EXISTING FINISHES AND EMPTY OR ABANDONED CONDUITS, ETC FROM WALLS AND FLOORS.		
D9	EXISTING ELECTRICAL FIXTURES TO BE REMOVED AND CAPPED. COORDINATE WITH ELECTRICAL.		
DIO	EXISTING PLUMBING FIXTURES TO BE REMOVED AND CAPPED. COORDINATE WITH PLUMBING DRAWINGS.		
DII	COORDINATE WITH MECHANICAL DRAWINGS FOR ANY DEMOLITION TO THE MECHANICAL DUCTWORK, LOUVERS, AND EQUIPMENT		
DI2	EXISTING CEILING TILES TO BE REMOVED. CEILING GRID TO REMAIN.		
DI3	REMOVE EXISTING WATER FOUNTAINS AND BOTTLE FILLERS; (TYPICAL)		
DI4	HATCHED REGION REPRESENTS EXISTING CONCRETE SLAB TO BE SAW CUT AND REMOVED 2'-0" FROM INSIDE OF THE EXISTING MASONRY WALLS.		
DI5	EXISTING VCT AND RUBBER BASE TO BE REMOVED.		
DI8	CONTRACTOR TO REMOVE ANY BENCHES AND LOCKERS AND LOCKER CURBS.		
D19	EXISTING RESTROOM ACCESSORIES TO BE REMOVED. (TYPICAL)		
D20	EXISTING FIRE EXTINGUISHERS TO BE HANDED OVER TO OWNER FOR STORAGE AND FIRE EXTINGUISHER CABINETS TO BE REMOVED. (TYPICAL)		
D21	EXISTING DOOR AND HARDWARE TO BE REMOVED. EXISTING FRAME SHOULD REMAIN.		
D22	EXISTING THERMOSTAT TO BE REMOVED. COORDINATE WITH MECHANICAL DRAWINGS.		
D23	EXISTING COLUMNS TO REMAIN. PROTECT DURING DEMOLITION.		
D24	EXISTING DOOR, FRAME, \$ HARDWARE TO REMAIN.		
D25	CONTRACTOR SHALL PROVIDE AND INSTALL NEW WEATHER PROOF CAP OVER EXISTING CURBS WHERE EXHAUST FANS ARE REMOVED. CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND CONFIRM ALL LOCATIONS.		

DEMOLITION PLAN LEGEND

DEMOLITION FLOO PLAN - 1ST FLOOR



DEMOLITION GENERAL NOTES

- I. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- 2. DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY EXCEPT FOR ITEMS THAT ARE CLEARLY IDENTIFIED PRIOR TO BIDDING AS SALVAGE. SALVAGED ITEMS (IF ANY) ARE TO BE REMOVED AND DELIVERED TO A LOCATION DESIGNATED BY THE OWNER.
- REFER TO ENGINEERING DRAWINGS FOR DEMOLITION OF PLUMBING MECHANICAL, AND ELECTRICAL WORK.
- 4. CONTRACTOR(S) SHALL ENTIRELY REMOVE ALL ITEMS INDICATED TO BE REMOVED.
- 5. PROTECT ALL FINISHES, EQUIPMENT, EXISTING INTERIOR AND EXTERIOR BUILDING AREAS AND SURFACES TO REMAIN.
- 6. BURNING WILL NOT BE ALLOWED ONSITE.
- 7. ALL WORK AND CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH SCHOOL ACTIVITIES AND TRAFFIC PATTERNS.
- 8. REMOVE ALL CEILINGS, LIGHT FIXTURES, INSULATION, EMPTY OR ABANDONED CONDUITS, PIPING, SPACE HEATERS, DUCT WORK, EXHAUST FANS AND MOTORS, ELECTRICAL PANELS, AND ALL OTHER SWITCHES, DEVICES, EQUIPMENT, BLOCKING, ETC, THAT WILL NOT BECOME PART OF OR USED IN THE NEW CONSTRUCTION OR OPERATION OF THE NEW BUILDING, DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK OR AS DIRECTED BY THE ARCHITECT, COORDINATE WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ONTRACTOR SHALL BE RESPONSIBLE FOR THE WEATHER TIGHTNESS OF THE BUILDING DURING THE REMOVAL AND REPLACEMENT OF THE ROOF TOP EQUIPMENT, EXTERIOR WINDOWS AND AT ALL TIMES DURING CONSTRUCTION FOR THE DURATION OF THE PROJECT. ANY DAMAGE TO EXISTING CONDITIONS SHALL BE REMOVED AND REPLACED WITH NEW, IMMEDIATELY AT NO COST TO THE OWNER. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS.
- 10. THE CONTRACTOR SHALL PROTECT ALL LANDSCAPING, LAWNS, WALKWAYS, DRIVEWAYS, SIGNAGE, LIGHT FIXTURES, ELECTRICAL PANELS, ETC. DURING THE COURSE OF DEMOLITION AND CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REPLACED AT NO COST TO THE OWNER. CONTRACTOR SHALL REPAIR TIRE RUTS IN LAWNS AND SHALL REPLACE EXISTING SOD WITH NEW AT NO COST TO THE OWNER.
- II. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF POWER OR OTHER UTILITIES.
- 12. ALL EXISTING LOAD BEARING COLUMNS AND WALLS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

DEMOLITION REFLECTED CEILING PLAN NOTES

- REMOVE EXISTING CEILING SYSTEMS; INCLUDE ALL FINISHED CEILING AND ALL ASSOCIATED PARTS AS NOTED ON REFLECTED CEILING PLANS.
 EXISTING LIGHT FIXTURES IN EXISTING CEILINGS TO REMAIN. COORDINATE
- WITH ELECTRICAL DOCUMENTS FOR ELECTRICAL DEMOLITION .
 COORDINATE WITH MECHANICAL DOCUMENTS REGARDING MECHANICAL DEMOLITION.
- 4. DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF
- 5. SEE MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION AND WHAT SHOULD BE DEMOLISHED.

DEMOLITION RCPLEGEND

EXISTING WALL TO REMAIN

EXISTING HVAC SUPPLY
DIFFUSERS, RETURN
REGISTERS, & EXHAUST TO BE
REMOVED. COORDINATE WITH
MECHANICAL DRAWINGS

EXISTING BUILDING
ENVELOPE TO REMAIN

EXISTING LIGHT FIXTURES TO

AREAS NOT IN PROJE SCOPE

KEY NOTES - DEMOLITION RCP		
KEY	KEYNOTE	
DCI	REMOVE EXISTING CEILING TILE. CEILING GRID TO REMAIN.	
DC2	EXISTING LIGHTING TO REMAIN DURING DEMOLITION PHASE.	
DC3	EXISTING EXIT LIGHTING TO REMAIN DURING DEMOLITION PHASE.	
DC4	COORDINATE WITH MECHANICAL DRAWINGS FOR EXISTING MECHANICAL EQUIPMENT RETURN AND SUPPLY DIFFUSERS THAT WILL BE DEMOLISHED	
DC5	EXISTING CEILING TILE AND GRID TO REMAIN.	
DC6	REMOVE EXISTING CEILING TILE AND GRID.	

11 North Water Street, Suite Mobile, AL 36602 T 251.460.4006

ISSUED FOR BID DEMO PKG 04/05/24

ADDENDUM #2 04/23/24

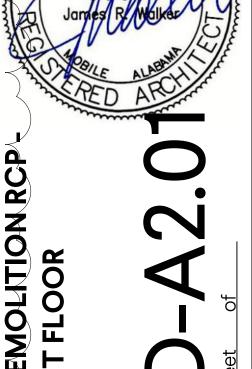
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Vans/Cultural Center DEMOLITION PACKAGI

ovations to the Fredericka (specional popular) by State Community Collegal Broad St Mobile, AL 36603

Bishop State 351 N. Broad GMC # AN PERMIT# BI



1.17 EXISTING ABOVE CEILING SPACE

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- SAWCUT AND REMOVE

SAWCUT AND REMOVE

QUARRY TILES

PROFESSIONAL : 4/5/2024 224034

DEMOLITION F PLAN - HVAC

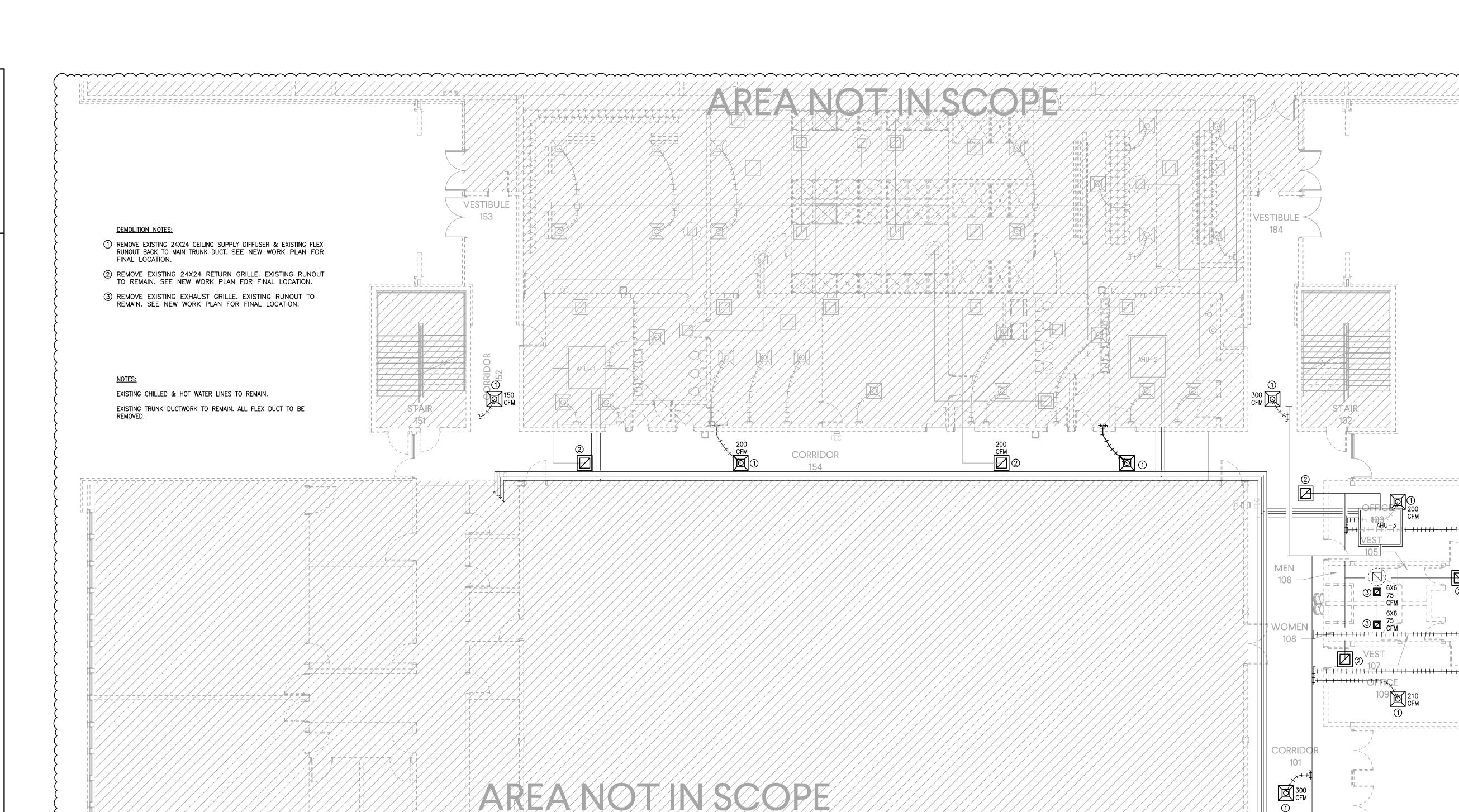
1 DEMOLITION FLOOR PLAN

DEMOLITION NOTES:

- 1. THE DEMOLITION WORK SHALL BE SCHEDULED WITH THE NEW INSTALLATION WORK AS TO MINIMIZE ANY DOWN TIME TO THE EXISTING SYSTEMS.
- 2. CONTRACTOR SHALL DISPOSE OF DEMOLISHED MATERIALS IN A TIMELY MANNER. DEMOLISHED MATERIALS SHALL NOT CLUTTER WORK AREAS.
- . DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT LAWS, CODES IN EFFECT IN THE JURISDICTION IN WHICH THE WORK IS TO OCCUR, AND THE SPECIFICATIONS.

GENERAL NOTES

- . ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. WORK MUST CONFORM TO CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL FIELD CONDITIONS AND LOCATIONS OF ALL DUCTWORK, PIPING, AND EQUIPMENT SHOWN ON DRAWINGS. CONTRACTOR SHALL VERIFY CLEARANCES, ROUTING AND NEW TIE-INS PRIOR TO FABRICATION AND INSTALLATION.
- CONTRACTOR SHALL CLOSELY COORDINATE CONSTRUCTION OF ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, CIVIL AND ELECTRICAL WORK, ETC. SHOWN OR SPECIFIED ON OTHER CONTRACT DOCUMENTS AND DRAWINGS.
- CARE SHALL BE EXERCISED DURING SITE FABRICATION TO INSURE THAT NO INTERFERENCE WITH OPERATIONS OR OPERATING EQUIPMENT OCCURS. ANY WORK TO BE COMPLETED IN THE CONCURRENT WORK AREAS SHALL BE FULLY COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK. ALL WORK PERFORMED IS TO BE ISOLATED AS TO INSURE NO DUST, DEBRIS, VAPORS, ETC. ENTER OCCUPIED OPERATING SPACES.
- EQUIPMENT SHALL BE AS SCHEDULED ON DRAWINGS. WHERE ACCEPTABLE ALTERNATE MANUFACTURER'S ARE LISTED, EQUIPMENT SHALL BE OF EQUAL QUALITY AND CAPACITY AS THE EQUIPMENT SCHEDULED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ARRANGEMENT CHANGES REQUIRED TO ACCOMMODATE USE OF ALTERNATE EQUIPMENT. SUBSTITUTION OF OTHER EQUIPMENT SHALL BE SUBMITTED FOR APPROVAL IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFICATION.
- MECHANICAL DRAWINGS ARE DIAGRAMMATIC AND SUBJECT TO REQUIREMENTS OF THE ARCHITECTURAL DRAWINGS AND CONDITIONS EXISTING IN THE FIELD. MECHANICAL DRAWINGS INDICATE GENERALLY THE LOCATION OF COMPONENTS AND ARE NOT INTENDED TO SHOW ALL FITTINGS OR ALL DETAILS OF THE WORK.
- FOLLOW THE DRAWINGS CLOSELY, COORDINATE DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. DO NOT SCALE MECHANICAL DRAWINGS FOR LOCATIONS OF SYSTEM COMPONENTS. THE MECHANICAL CONTRACTOR SHALL VERIFY ALL NEW ROUTINGS, AND TIE-INS PRIOR TO THE FABRICATION AND INSTALLATION OF ANY DUCTWORK OR PIPING.
- . MAKE NO CHANGES WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. IN CASE OF DOUBT, OBTAIN PRIME CONSULTANT'S DECISION BEFORE PROCEEDING WITH WORK. FAILURE TO FOLLOW THIS INSTRUCTION SHALL MAKE THE CONTRACTOR LIABLE FOR DAMAGE TO OTHER WORK AND RESPONSIBLE FOR REMOVING AND REPAIRING DEFECTIVE OR MISLOCATED WORK IN PROPER MANNER.
- 9. DO NOT SCALE DRAWINGS TO LOCATE DIFFUSERS AND EQUIPMENT, COORDINATE WITH NEW AND EXISTING LIGHTING, ELECTRICAL CONDUIT, SMOKE DETECTORS, CABLE RACK, CEILING GRIDS, AND EXISTING FIELD CONDITIONS.
- 10. PRIOR TO PREPARING SUBMITTALS VERIFY ALL EQUIPMENT VOLTAGES WITH THE ELECTRICAL DRAWINGS, AND ELECTRICAL CONTRACTOR AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT AS SOON AS POSSIBLE AND BEFORE ORDERING ANY EQUIPMENT.
- 11. IF SYSTEMS INTERFERE OR CONFLICT, THE ARCHITECT SHALL DECIDE WHICH EQUIPMENT TO RELOCATE REGARDLESS OF WHICH WAS INSTALLED FIRST.
- 12. PROTECT MECHANICAL EQUIPMENT FROM DAMAGE DURING CONSTRUCTION WHEN INSTALLATION IS COMPLETE, CLEAN EQUIPMENT AND MAKE READY FOR PAINTING.
- 13. INSTALL ALL EQUIPMENT TO PROVIDE NORMAL (AND CODE REQUIRED) SERVICE ACCESS TO ALL COMPONENTS INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. IF MANUFACTURER'S INSTRUCTIONS CONFLICT WITH CONTRACT DOCUMENTS OBTAIN ARCHITECT'S DECISION BEFORE PROCEEDING.
- 14. FURNISH ACCESS DOORS FOR VALVES, FIRE DAMPERS, DAMPERS, CONTROLS, AIR VENTS, TRAP CLEAN OUTS, AND OTHER ITEMS LOCATED ABOVE NON-LIFTOUT CEILINGS OR BEHIND PARTITIONS OR WALLS. DOORS IN FIRE RATED WALLS, AND CEILINGS; UL LABELED WITH FIRE RATING EQUAL TO FIRE RATING OF WALL OR CEILING. COORDINATE WALL AND CEILING FIRE RATINGS WITH ARCHITECTURAL DRAWINGS, AND CONDITIONS EXISTING IN THE FIELD.
- 15. WHEN WORKING ON EXISTING DUCTWORK SYSTEMS THE CONTRACTOR SHALL INSTALL TEMPORARY FILTER MEDIA OVER ALL NEW AND EXISTING SUPPLY AIR DIFFUSERS PRIOR TO THE START OF WORK.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY,



150 CFM

SECURITY AND COMPLIANCE WITH OSHA SAFETY GUIDELINES.

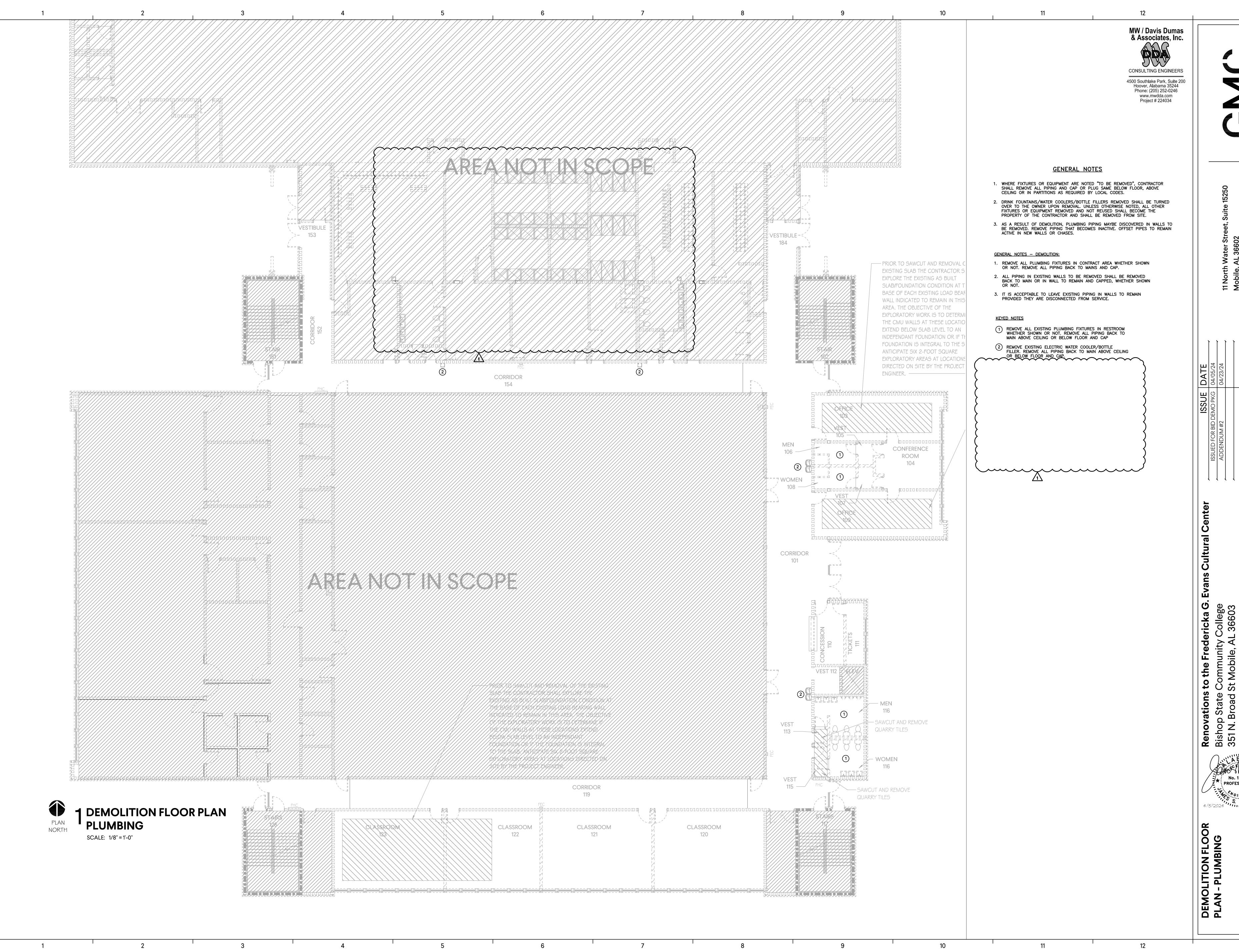
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SCALE: 1/8" = 1'-0"



4/5/2024 224034

