



Goodwyn Mills Cawood  
11 North Water Street  
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T 251.460.4006  
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## FASCIMILE TRANSMITTAL COVER SHEET

DATE: July 31, 2025  
TO: Doris Furr  
FROM: Plan Holder  
PROJECT: ADCNR KAYAK SHELTERS  
GMC PROJECT NO. AMOB240054  
RE: ADDENDUM NO. 1 AND ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM NO. 1

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### ACKNOWLEDGEMENT OF RECEIPT:

PLEASE PRINT RECIPIENT'S NAME, FIRM, AND DATE RECEIVED.

THEN FAX BACK TO (251) 460-4423 or EMAIL [Doris.Howard@gmcnetwork.com](mailto:Doris.Howard@gmcnetwork.com)  
FOR OUR RECORDS AND TO ACKNOWLEDGE YOUR RECEIPT OF THIS ADDENDUM.

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NAME (PLEASE PRINT)

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FIRM (PLEASE PRINT)

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DATE RECEIVED (PLEASE PRINT)

**ADDENDUM NUMBER 1**

**July 31, 2025**

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**PROJECT: ADCNR KAYAK SHELTERS**  
**GMC PROJECT NO. AMOB240054**

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**AD1-1 CLARIFICATIONS / RFI'S / RESPONSES:**

- A. Bidders shall acknowledge receipt of the Addendum in writing, as provided on the Acknowledgment Receipt.
- B. Pre-Bid Conference Items: See attached pre-bid conference minutes as well as sign in sheet.
- C. Section 003100 Allowances and Alternates has been revised. Please replace in its entirety. This section is found just following ASPD Form 5-E (Proposal Form) in Division 00.
- D. Section 074213 Metal-R-Panel has been added.

**AD1-2 ISSUED SPECIFICATIONS:**

- A. Section 003100 Allowances and Alternates. Replace in its entirety.
- B. Section 074213 Metal-R-Panel. Add this new section.

**AD1-3 ISSUED DRAWINGS:**

- A. Drawing E-A5.01 Wall Sections and Section Details
- B. Drawing N-A1.01 Plans, Exterior Elevations and Building Sections
- C. Drawing N-A5.11 Wall Sections and Section Details
- D. Drawing R-A1.01 Plans, Exterior Elevations and Building Sections
- E. Drawing R-A5.11 Wall Sections and Section Details

**AD1-4 ATTACHMENTS:**

- A. Addendum Acknowledgment Response
- B. Pre-Construction Minutes and Sign In Sheet
- C. Revised Section 003100 Allowances and Alternates
- D. New Section 074213 Metal-R-Panel
- E. Drawing E-A5.01 Wall Sections and Section Details
- F. Drawing N-A1.01 Plans, Exterior Elevations and Building Sections
- G. Drawing N-A5.11 Wall Sections and Section Details
- H. Drawing R-A1.01 Plans, Exterior Elevations and Building Sections
- I. Drawing R-A5.11 Wall Sections and Section Details

**-END OF ADDENDUM-**

PREPARED BY

Goodwyn Mills  
Cawood, LLC  
11 North Water Street  
Suite 19290  
Mobile, Alabama  
36602  
T 251.460.4006  
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**PRE-BID CONFERENCE AGENDA  
ADCNR KAYAK SHELTERS  
FOR THE ALABAMA DEPARTMENT OF CONSERVATION  
AND NATURAL RESOURCES STATE LANDS DIVISION  
GMC PROJECT NO. AMOB240054  
July 29, 2025 @ 1:00 p.m.**

Note: *This Agenda is complimentary, for general use as an outline and for discussion during this meeting. Any errors, omissions, or clarifications shall be communicated to the Architect for distribution. This Agenda does not attempt to be, nor represent, any recapitulation of Project requirements, and does not change or alter same in any respect; Changes, if any, will only be made by written Addendum.*

Introductions and opening remarks and reminder to sign-in on sheet being circulated.

**1. Names and relationship to Project of local Owner personnel:**

- Owner – Alabama Department of Conservation and Natural Resources
- Owner's Representatives:
  - i. Jacques Hollings

**2. Names of Architect personnel involved – Goodwyn, Mills and Cawood, Inc.**

- Project Architect/Manager – Christopher N. Lunsford, AIA
- Administrative Assistant – Doris Furr

**3. Bid Time, Date, Place – indicated in Advertisement for Bids:**

- Bids will be received and opened at 11:00 a.m. local time on August 14, 2025, at the Five Rivers Delta Resource Center Coastal Building, 31115 Five Rivers Boulevard, Spanish Fort, Alabama 36527.
- Contractor's responsibility to make sure Bid is received prior to bid time or they will not be accepted.

**4. General Contractor's State Licensing Requirements/ Qualifications:**

- When the amount bid for a contract exceeds \$50,000, the bidder must be licensed by the State of Alabama Licensing Board for General Contractors and must show the Architect evidence of license before bidding or the bid will not be received by the Architect or considered by the Awarding Authority.
- General Contractors and Subcontractors shall have no less than 5-years verifiable commercial experience in their trade and no less than 5-years verifiable commercial experience in their business enterprise contracting for work under this project.
- The General Contractor shall have completed no less than 5 verifiable commercial projects of similar scope, extent and dollar value during the last 3 years.
- Failure to comply with these requirements may result in rejection of non-compliant bids.

**5. Bid Preparation / Bid Guaranty / Delivery of Bids:**

- Bids shall be prepared pursuant to the Contract Documents, including but not limited to Bidding Requirements, Contract Forms, General Conditions, Special Conditions, Technical Specifications, Construction Drawings, and all Addendums.
- ALL information requested of the bidder on the Proposal form, including alternate bid prices and unit prices for separate items of Work, must be filled in. The form must be completed by typewriter or hand-printed ink.
- No alterations shall be made to bid proposal unless modified by Addendum.
- Bids must be submitted on the Proposal Form as contained in the Bid Documents; only one copy is required to be submitted.
- Where indicated by the format of the Proposal Form, the bidder must specify lump sum prices in both words and figures. In case of discrepancy between the prices shown in words and in figures, the words shall govern.
- The Proposal Form must be accompanied by a cashier's check, or a Bid Bond.
  - Bid Bond is required if Bid is over 50,000.
- If a Bid Bond is provided, the bond shall be on the Bid Bond form as stipulated in the Bid Documents; executed by a surety company duly authorized and qualified to make such bonds in the State of Alabama, payable to the Alabama Department of Conservation and Natural Resources.
- Cashier's check must be drawn on an Alabama bank, 5% of bid amount, not to exceed \$10,000.
- Each bid shall be placed together with the Bid Guaranty and Disclosure Statement in a sealed envelope. On the outside of the envelope the bidder shall write in large letters "Proposal", below which the bidder shall identify the Project and the Work bid on, the name of the bidder, and the bidder's current general contractor's state license number.
- Bids may be delivered in person or by mail if ample time is allowed for delivery. When sent by mail, the sealed envelope containing the bid shall be enclosed in another envelope for mailing.

Mail Bids To:

**Alabama Department of Conservation and Natural Resources State Lands Division  
Five Rivers Delta Resource Center Coastal Building  
31115 Five Rivers Boulevard  
Spanish Fort, Alabama 36527**

- A bid which has been sealed in its delivery envelope may be revised by writing the change in price on the outside of the delivery envelope over the signature and date of the bidder or the bidder's "authorized representative". Authorized Representative is defined as a person to whom the bidder has granted written authority to conduct business in the bidder's behalf by signing and/or modifying the bid. Such written authority shall be signed by the bidder and shall be attached to the Proposal Form.
- A bid that is not accompanied by data required by the Bid Documents, or a bid which is in any way incomplete, may be rejected. Any bid which contains any un-initialed alterations or erasures, or any bid which contains any additions, alternate bids, or conditions not called for, or any other irregularities of any kind, will be subject to rejection.

**6. Performance and Payment Bonds:**

- As per Requirements of Project Manual
  - P&P bonds are required if Bid is over \$50,000.

**7. Sales, Use, and Severance Tax Savings:**

- Tax Exempt Project Per State of Alabama Requirements.
- Accounting of Sales Tax (ASPD Form 5-H) – Shall be included with the Proposal Form.

**8. Addenda:**

- An Addendum will be issued to include minutes of this Pre-Bid Meeting, the sign in sheet, and any pertinent items discussed. Questions from this meeting as well as follow-up RFI's will also be included in the Addendum.
- Any further addenda necessary after the Pre-Bid Meeting will be issued to all General Contractors which have picked up a set of contract documents. Get with Doris if not already on our plan holder's list.

**9. Project NTP/Mobilization:**

- The Official Notice to Proceed:
- **NO WORK SHALL BEGIN ON PROJECT UNTIL INSURANCE CERTIFICATES ARE RECEIVED AND APPROVED.**

**11. Explanations and Interpretations:**

- Every General Contractor and every Subcontractor should read and be familiar with all the “front-end” documents and all of Division 1 of the Project Manual, in addition to the work they are bidding and must coordinate with.
- Before submitting a bid for the Work, the bidders shall carefully examine the Bid Documents, visit the sites, and satisfy themselves as to the nature and location of the Work, and the general and local conditions, including weather, the general character of the site or building, the character and extent of existing work within or adjacent to the sites and any other work being performed thereon at the time of submission of their bids.
- The Contract Documents shall be interpreted collectively, each part complementing the others and consistent with the Intent of the Contract Documents.
- If there is a conflict, discrepancy, or confusion between the plans and specifications for work, materials or equipment and the Contractor does not receive written clarification from the Architect prior to the opening of bids the Contractor shall include the better quality or greater quantity of Work in his/her bid.
- Written formal questions regarding the work shall be directed to the Architect in the form of an (RFI), Request for Information. All RFI's are to be sent to the architect and copy to Doris at [doris.furr@gmcnetwork.com](mailto:doris.furr@gmcnetwork.com).
- Communications by and with the Architect's consultants shall be through the Architect ONLY.
- Questions and clarification from prospective bidders will be made only by written Addenda sent to all prospective bidders. Questions and clarifications must be submitted in writing a minimum of 48 hours prior to bid.

- When the Bid Documents identify three or more sources and the list of sources is not followed by “or approved equal” or similar wording, the bidder’s proposal shall be based upon one of the identified sources, unless the bidder obtains “Pre-bid Approval” of another source. Acceptance of additional suppliers, manufacturers, and/or products in such instances shall be limited to those named, unless others are properly submitted at least 7-days prior to the Bid Date and subsequently accepted. Contractor should review the Contract Documents for proper submittal for consideration and review for pre-approvals.
- Acceptance will only be acknowledged by Addendum
- Submittals during construction other than those pre-qualified or pre-accepted will not be reviewed, but instead, returned for re-submittal, without exception.
- Each Bidder shall determine the number of sets of Contract Documents required for the construction of the specified work.
- Proposals may be rejected if they contain any omissions, alterations of forms, additions not called for, conditional bids, alternate bids unless called for, incomplete bids, erasures, or irregularities of any kind.

**12. Insurance Requirements:**

- Alabama State Parks Insurance requirements are included in the Project Manual in GENERAL CONDITIONS OF THE CONTRACT ARTICLE 37 and should be provided to each General Contractor’s and Subcontractor’s insurance carrier for review.

**PROJECT SPECIFIC REQUIREMENTS**

**13. Alternates:**

- **Alternate No. 1: BoardSafe Accessible Kayak Launch.** Installation of a BoardSafe Accessible Kayak Launch at the Live Oak Landing dock off Live Oak Rd. in Stockton, AL. The Kayak Launch will be designed and installed through delegated design in adherence to standards set by architectural drawings. Refer to Exhibit A for additional information.

**14. Unit Prices (Attachment A to Proposal Form):**

- See Construction Documents, Description of Unit Prices, and ATTACHMENT A TO PROPOSAL FORM STATING UNIT PRICES.
- Unit prices shall include all charges for labor and materials, fee, layout, supervision (field and office), general expenses, taxes, insurance, overhead and profit, for Unit Item of Work in place and complete.
- Bidders are requested to bid on all Unit Price Items indicated. Where a Unit Price does not involve a change in price, insert the words “No Change.” Bidders not desiring to bid a certain Unit Price should so indicate by the words “No Bid”. Bidders failing to bid all Unit Prices risk disqualification of their bid.
- Submit Unit Prices with the Proposal Form on Bid Date.

**15. List of Subcontractors and Suppliers:**

- Each bid shall have attached a list of major subcontractors and suppliers proposed for the principal parts of the work which is to be turned in with a copy of the Proposal Form on Bid Date, or at Contractor’s option, turned in to the Owner within 24-hours after receipt of Bids, with a copy

to the Architect. Bidders failing to submit such list, as indicted, will be considered non-responsive and will be rejected; Bidder failing to submit a complete list may be rejected.

- Subcontractors listed and thereafter approved may not be changed without prior approval of the Owner and Architect.

**16. Modification and Withdrawal:**

- After the bid opening, bids may be withdrawn or modified only after the expiration of sixty (60) days.

**17. Warranty:**

- Roofing Guarantee – General Contractor 5 years; Metal Roofing – Manufacturer's 20 year (min.).
- Contractor one (1) year warranty for general construction.
- Manufacturer's standard warranties per project specifications.

**18. Permits, Licenses and Fees:**

- The Contractor is responsible for all permits and all fees necessary for proper and legal completion of the Work. Permit fees are responsibility of the Contractor, form to determine the fee is included in the project manual.

**19. Supervision:**

- General Contractor shall provide a Project Manager and Project Superintendent for the duration of the Contract; the Project Manager and Superintendent shall have minimum of 10 years' experience specific to the work in this scope. Project and Owner references shall be provided prior to preconstruction meeting. Refer to General and Special Conditions for additional information and requirements, and minimum experience requirements.

**20. Completion Time for Project:**

- Base Bid Completion Time: **120 calendar days** to substantial completion from date of Official Notice to Proceed.

**21. Liquidated Damages:**

- Per General & Special Conditions of the Contract

**22. Goodwyn Mills Cawood, LLC (Project Architect)**

11 North Water Street, Suite 19290, Battle House Tower, Mobile, AL 36602

Phone: (251) 460-4006, Fax (251) 460-4423.

[chris.lunsford@gmcnetwork.com](mailto:chris.lunsford@gmcnetwork.com)

[doris.furr@gmcnetwork.com](mailto:doris.furr@gmcnetwork.com)



**23. OWNER COMMENTS:**

- None.

**24. QUESTIONS / COMMENTS:**

- Is this DBE? No it is not DBE.
- For clarification, a metal roof is needed. Architect will provide a spec. Section.
- If needed, requests to change calendar days should be submitted as an RFI.
- No builders risk.
- Floating shelter tie offs (*where noted on drawings*) to be coordinated with ADCNR.
- Floating the shelters in on barge is acceptable.
- Third party wood inspection question. Marine treated, per Jock (ADCNR). Architect will address Rough Carpentry spec. via addendum.

**END OF MEETING**



ADCNR KAYAK SHELTERS  
ALABAMA DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES  
GMC PROJECT NO. AMOB240054

PRE-BID SIGN IN SHEET  
TUESDAY, JULY 29, 2025

NAME	COMPANY	GC #	PHONE	EMAIL
JH	ADCNR	NA	334-353-5647	Jacques.Hollings@dcnr.alabama.gov
Chris Lunsford, AIA	GMC LLC	NA	251.460.4006	chris.lunsford@gmcnetwork.com
Steve Brown	Blade Construction LLC	44220	251-970-1050	steve@bladeconstruction.com
Seth Smith	Rollin Construction	46194	251-368-0072	seth@rollinbuilds.com
John Edge	Reehlco, LLC	60861	251-769-2719	johnedge@reehlco.com
John Otts	MW Rogers Construction Company, LLC	21886	251-479-5350	john@mwrogers.net
Kenny Eden	S HUNT ENT.		251-599-3452	kenny@SHUNT6L.COM
Chris Zimmerman	BLACK Diamond		228-342-2742	Chris@blackdiamondllc.com
Austin Megaw	Integrity Maintenance		251-391-9073	Integritym.17@gmail.com
Ronnie Tindle	Tindle Construction	51512	251-463-2804	rtindle@tindleconstruction.net
Wayne Tindle	Tindle Construction	51512	251-675-6117	Wayne@tindleconstruction.net
Camille Mask	GMC LLC	NA	251-525-3200	camille.mask@gmcnetwork.com
Darlene Gillis	Gillis Construction	43045	251-605-5119	e.j.gillis@bellsouth.net
Fred McCall	SE Hagner			

**SECTION 07 42 13.13**  
**METAL ROOF PANELS**

**PART 1 GENERAL**

**1.1 SUMMARY**

- A. Section Includes: Factory-formed metal roof and wall panels, including fascia, soffit and liner panels and includes:
  - 1. Factory-formed panels in vertical installation.

**1.5 SUBMITTALS**

- A. General: Submit listed submittals in accordance with Conditions of the Contract and Division 1 Submittal Procedures Section.
- B. Product Data: Submit manufacturer's product data for specified products.
- C. Shop Drawings: Submit shop drawings showing layout, profiles and product components, including anchorage, accessories, finish colors and textures.
  - 1. Indicate layout of metal panels and metal panel sizes, including custom-fabricated metal panels if indicated; indicate each item of trim and accessories.
  - 2. Indicate in detailed drawings profile and gauge of interior and exterior sheets, and locations and types of fasteners; indicate locations, gauges, shapes and methods of attachment of metal panels, trim and accessory items.
  - 3. Include sealant location and denote those that are factory and field applied.
  - 4. Indicate products/materials required for construction activities and field worked conditions of this section not supplied by manufacturer of products of this section.
- D. Warranties:
  - 1. Substrate Warranty
  - 2. Finish Warranty
- I. Buy American Certification: Manufacturer's letters of compliance that supplied products comply With requirements.
- J. Closeout Submittals: Submit the following:
  - 1. Warranty: Warranty documents specified herein.

**1.6 QUALITY ASSURANCE**

A. Manufacturer Qualifications:

1. Provider of “hands on” installer training programs at manufacturer facility.
2. Minimum of ten years’ experience in manufacturing metal roof and wall systems.
3. Provider of product produced in a permanent factory environment with fixed roll-forming equipment.

B. Installer Qualifications:

1. Employer of workers for this project who are competent in techniques required for installation indicated and who shall be supervised at all times when material is being installed.

## **1.7 DELIVERY, STORAGE & HANDLING**

A. General: Comply with Division 1 Product Requirements Sections.

1. Ordering: Comply with manufacturer’s ordering instructions and lead time requirements to avoid construction delays.

B. Delivery: Deliver materials in manufacturer’s original, unopened, undamaged containers with identification labels intact.

C. Delivery and Acceptance Requirements: Ensure all panels are received in good condition. In cases

## **1.9 WARRANTY**

A. Project Warranty: Refer to Conditions of the Contract for project warranty provisions.

1. Panel Material: Furnish manufacturers 25 year warranty covering the panel against rupture, structural failure, or perforation.

## **PART 2 PRODUCTS**

### **2.1 METAL PANELS**

A. Manufacturers: McElroy Metal, Inc. or equivalent.

1. For Basis-of-Design, contact: 1500 Hamilton Rd., Bossier City, LA 71111; Telephone: (800) 562-3576, (318) 747-8097; Fax: (318) 747-8099; E-mail: [info@mcelroymetal.com](mailto:info@mcelroymetal.com); website: [www.mcelroymetal.com](http://www.mcelroymetal.com).

### **2.2 MANUFACTURED UNITS**

A. Metal R-Panel:

1. Profile: Major longitudinal ribs 1 1/4" deep, spaced 12" on center; minor longitudinal ribs centered between major ribs, spaced 4" on center panel; normal-run where ribs protrude from panel plane, viewed from exterior, reverse-run where ribs recede from panel plane, viewed from exterior.
2. Size: 36" cover width, lengths indicated on drawings.

## 2.3 MATERIALS

- A. Material: Galvalume steel sheet conforming to ASTM A792, AZ55 coating for bare; AZ50 coating for painted; 24 or 26 gauge sheet thickness.

## 2.4 METAL ROOF PANEL ACCESSORIES

- A. General: Provide complete metal panel assembly incorporating trim, copings, fasciae, and miscellaneous flashings, in manufacturer's standard profiles. Provide required fasteners, closure strips, and sealants as indicated in manufacturer's written instructions.
- B. Flashing and Trim: Match material, thickness, and finish of metal panel face sheet.
- C. Panel Fasteners: Self-tapping screws and other acceptable corrosion-resistant fasteners recommended by metal panel manufacturer. Where exposed fasteners cannot be avoided, supply fasteners with EPDM or neoprene gaskets, with heads matching color of metal panels by means of factory-applied coating.
- D. Joint Sealers: Manufacturer's standard or recommended liquid and preformed sealers and tapes, and as follows:
1. Tape Sealers: Manufacturer's standard non-curing butyl tape, AAMA 809.2.
  2. Concealed Joint Sealant: Non-curing butyl, AAMA 809.2.
- E. Steel Sheet Miscellaneous Framing Components: ASTM C 645, with ASTM A 653/A 653M, G60 (Z180) hot-dip galvanized zinc coating.
- F. Metal Accessories: Approved by metal panel manufacturer.

## 2.5 FABRICATION

- A. General: Provide factory fabricated and finished metal panels and accessories meeting performance requirements, indicated profiles, and structural requirements.
- B. Fabricate metal panel joints configured to accept sealant providing weathertight seal and preventing metal-to-metal contact and minimizing noise resulting from thermal movement.

- C. Form panels in continuous lengths for full length of detailed runs, except where otherwise indicated on approved shop drawings.
- D. Sheet Metal Flashing and Trim: Fabricate flashing and trim to comply with manufacturer's written instructions, approved shop drawings, and project drawings. Form from materials matching metal panel substrate.

## **2.6 FINISHES**

- A. Bare Galvalume steel sheet conforming to ASTM A792, AZ55

## **2.7 RELATED MATERIALS**

- A. General: Coordinate use of related materials:
  - 1. Plywood Deck: Refer to Drawings.

# **PART 3 EXECUTION**

## **3.1 MANUFACTURER'S INSTRUCTIONS**

- A. Compliance: Comply with manufacturer's product data, recommendations and installation instructions for substrate verification, preparation requirements and installation.
  - 1. Strippable Film: Remove manufacturer's protective film, if any, from surfaces of metal panels.

## **3.3 INSTALLATION**

- A. General: Install metal panels to profiles, patterns and drainage indicated and required for leak-free performance. Provide for structural and thermal movement of work. Seal joints for leak-free metal installation.
  - 1. Shim or otherwise plumb substrates receiving metal panels.
  - 2. Do not begin installation until air- or water-resistive barriers and flashings that will be concealed by metal panels are installed.
  - 3. Locate and space fasteners in uniform vertical and horizontal alignment.
  - 4. Install flashing and trim as metal panel work proceeds.
  - 5. Install continuous length panels if at all possible. If splices are required, locate panel splices over, but not attached to, structural supports and only with prior Architect approval.
  - 6. Align bottoms of metal panels and fasten with blind rivets, bolts, or self-tapping screws.
  - 7. Fix panels at location depicted on reviewed shop drawings.
  - 8. Fasteners: Conceal fasteners where possible in exposed work. Cover and seal fasteners and anchors for watertight and leak-free metal installation.
  - 9. Sealant-Type Joints: Provide sealant-type joint where indicated. Form joints to conceal sealant.

**B. Metal Installation:**

1. Install metal panels plumb, true and in correct alignment with structural framing, in accordance with shop drawings and manufacturer's printed installation instructions.
2. Install metal panels using manufacturer's concealed fastening system or non-corroding fasteners.

**C. Installation Tolerances:**

1. Variation from Plumb: Maximum 1/8" in 20 feet.
2. Variation from Level: Maximum 1/8" in 20 feet.
3. Variation from True Plane: Maximum 1/8" in 20 feet.

**D. Underlayment Installation**

1. Underlayment to be supplied by metal panel manufacturer.
2. Self-adhered High-Temperature Underlayment: Provide self-adhering, cold-applied, sheet underlayment, a minimum of 40 mils thick adhesive, with release-paper backing. Provide primer when recommended by underlayment manufacturer.
3. Thermal Stability: Stable after testing at 240 degree F; ASTM D1970.
4. Low-Temperature Flexibility: Passes after testing at minus 20 degree F; ASTM D1970.
5. Retain one of two subparagraphs below or delete both if indicated on Drawings.
  - a. Apply over the entire surface.
6. Installation of self-adhering sheet underlayments.
  - a. Roof perimeter for a distance up from eaves of 36 inches beyond interior wall line.
  - b. Rake edges for a distance of 18 inches.

**E. Accessory Installation:** Install accessories using techniques recommended by manufacturer and which will assure positive anchorage to building and weather tight mounting. Coordinate installation with flashings and other components

**F. Flashing and Trim Installation:** Comply with performance requirements, manufacturer's written installation instructions, and the SMACNA "Architectural Sheet Metal Manual." Provide concealed fasteners where possible, and install units to true level. Install work with laps, joints, and seams that will be permanently watertight.

### **3.5 CLEANING**

- A. Cleaning: Remove temporary coverings and protection of adjacent work areas.
- B. Repair or replace damaged installed products.
- C. Clean installed products in accordance with manufacturer's instructions prior to Owner's acceptance.
- D. Remove construction debris from project site and legally dispose of debris.

E. Remove strippable coating and perform dry wipe-down cleaning of panels as erected.

### **3.6 PROTECTION**

A. Protection: Protect installed product's finish surfaces from damage during construction:

1. Protect installed products from damage by subsequent construction activities.
2. Replace products having damage other than minor finish damage.
3. Repair products having minor damage to finish in accordance with panel Manufacturer's recommendation
4. Architect shall be sole judge of acceptability of repair to damaged finishes; replace products having rejected repairs

**END OF SECTION**

Rev. 6/20



SECTION 00 3100

ALLOWANCES AND ALTERNATES

\_\_\_\_\_(Date)

Proposal of: \_\_\_\_\_(hereinafter called Bidder).

**ALLOWANCE NO. 1:** General Contingency Allowance: Correction of existing unforeseen conditions and / or additional work, as directed by the Architect or Owner, including purchasing, and applicable fees, and all related costs. Allowance includes material cost, receiving, handling, and installation as applicable for a complete and warrantable installation in place for its intended use and purpose. Include 10% overhead and profit in base bid and not as part of allowance.

ADD to base bid: Ten Thousand Dollars (\$10,000.00)

**BASE BID** (base bid plus allowances) \_\_\_\_\_Dollars

*in words*

(\$ \_\_\_\_\_)

*in numbers*

Accompanying this Proposal is a 5% Bid Bond, Certified Check or Cashier's Check for the amount of:

\_\_\_\_\_Dollars

*in words*

**BID ACCEPTANCE:** It is understood that the Owner reserves the right to reject any or all bids and to waive informalities and irregularities, or to accept any Bid considered advantageous. The requirements of the Instruction to Bidders apply to this Proposal.

**LENGTH OF CONSTRUCTION:** The Bidder agrees that, if awarded this Contract, he will substantially complete the Work within One-Hundred and Twenty (120) calendar days after the Notice to Proceed.

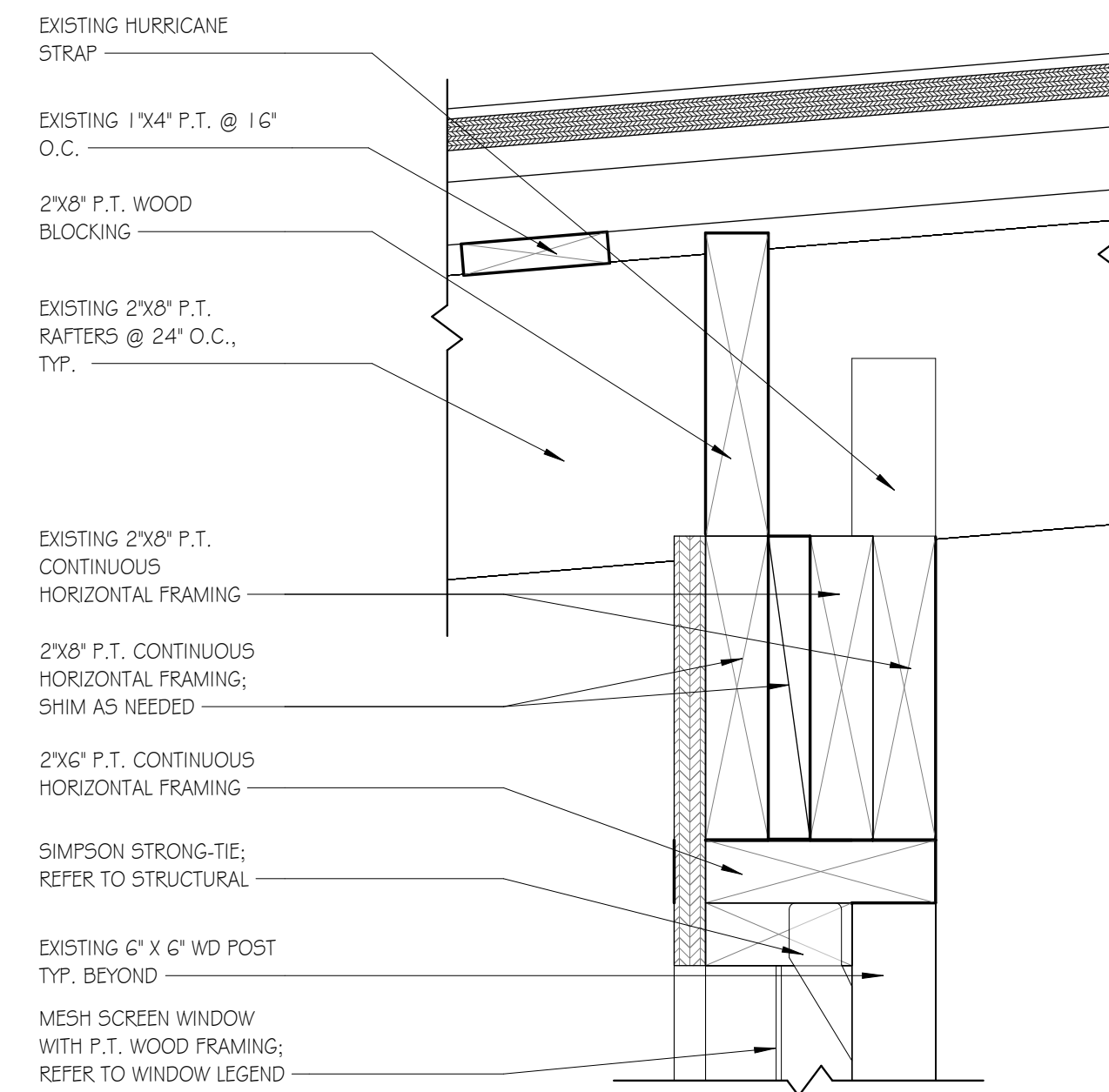
**ALTERNATES**

Refer to Section 01 3000: Alternates for details.

**ALTERNATE NO. 1:**

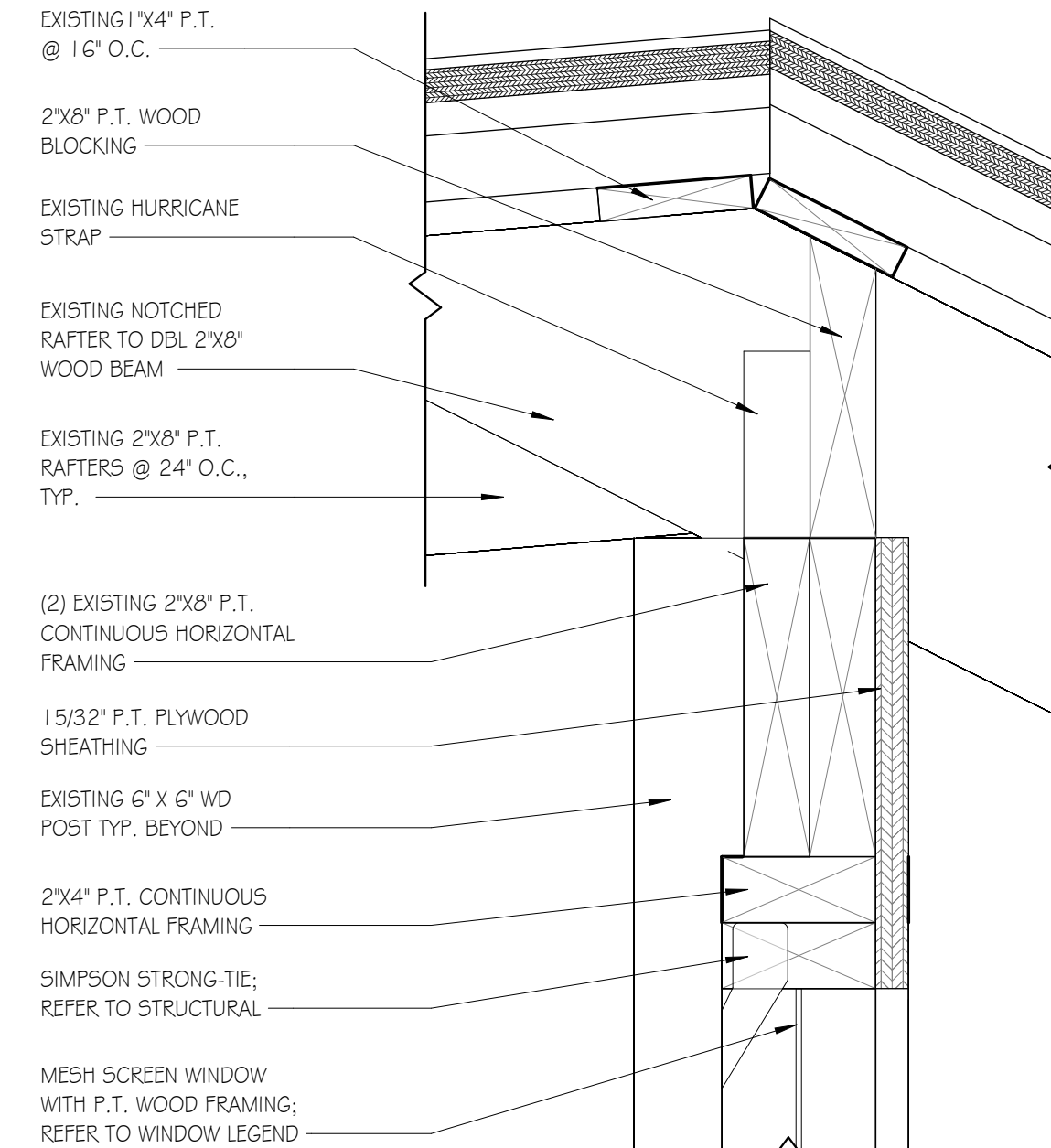
**BoardSafe Accessible Kayak Launch.** Installation of a BoardSafe Accessible Kayak Launch at the Live Oak Landing dock off Live Oak Rd. in Stockton, AL. The Kayak Launch will be designed and installed thorough delegated design in adherence to standards set by architectural drawings. Refer to Exhibit A for additional information.

\_\_\_\_\_Dollars (\$\_\_\_\_\_)



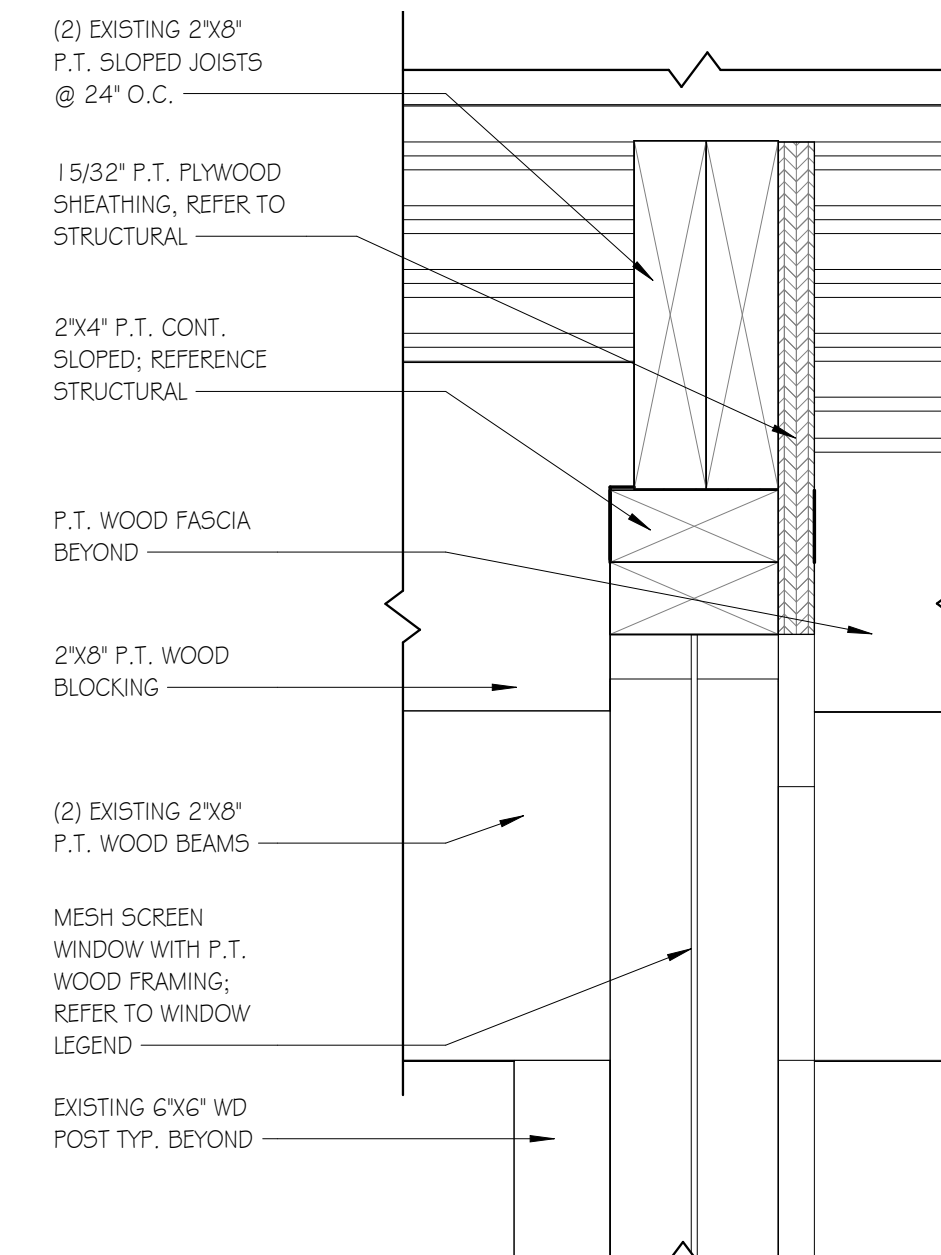
# 1 SECTION DETAIL

SCALE: 3" = 1'-0"



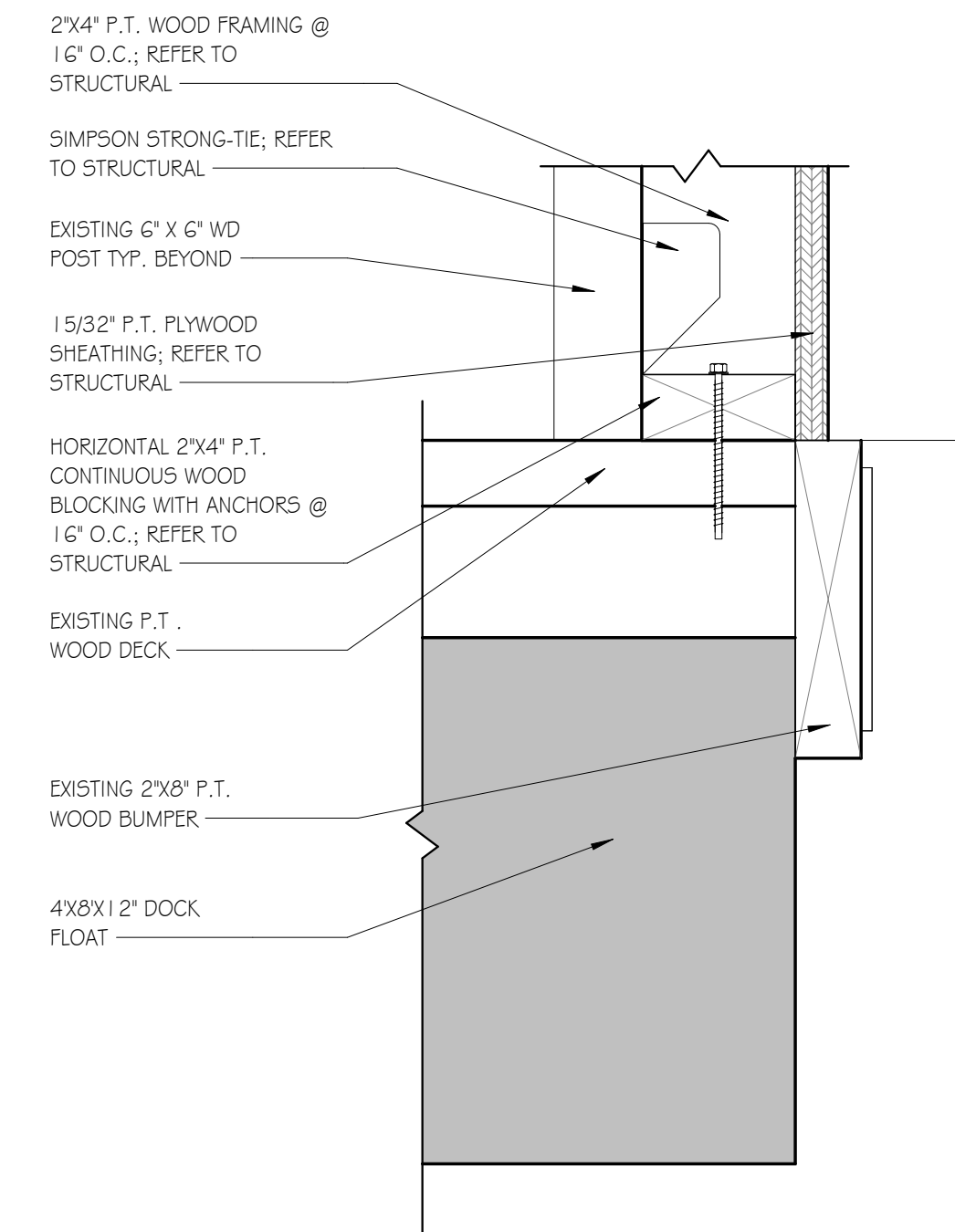
## 2 SECTION DETAIL

SCALE: 3" = 1'-0"



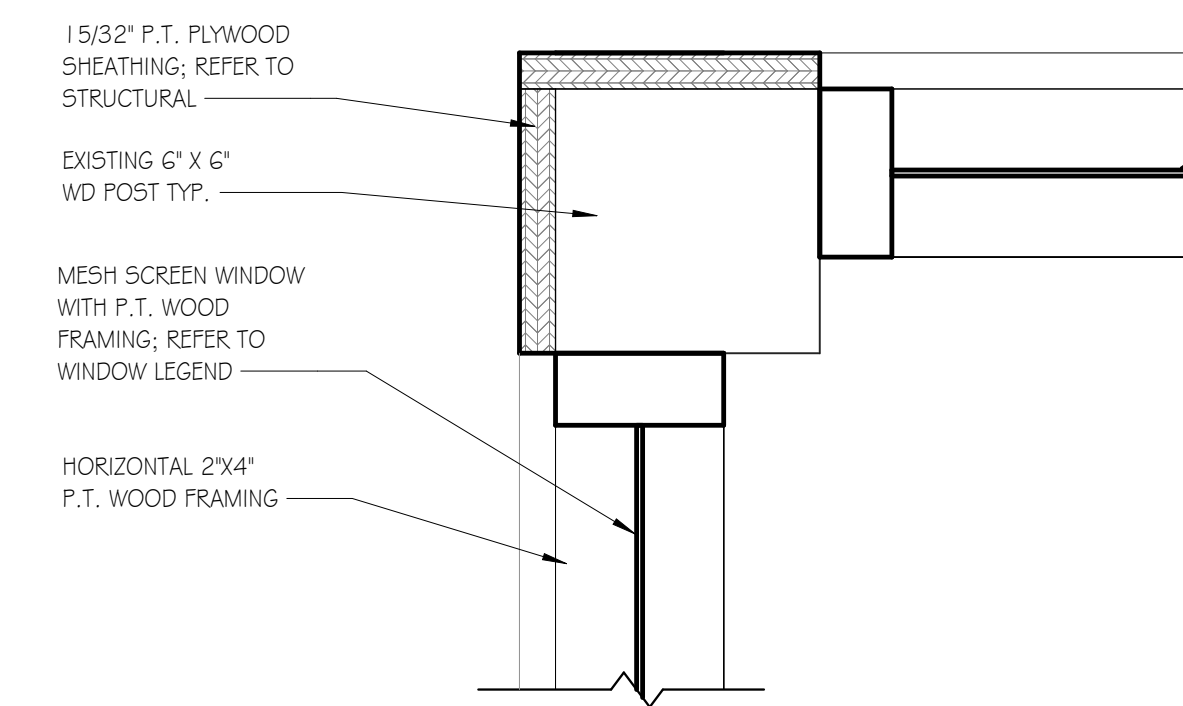
### 3 SECTION DETAIL

SCALE: 3" = 1'-0"



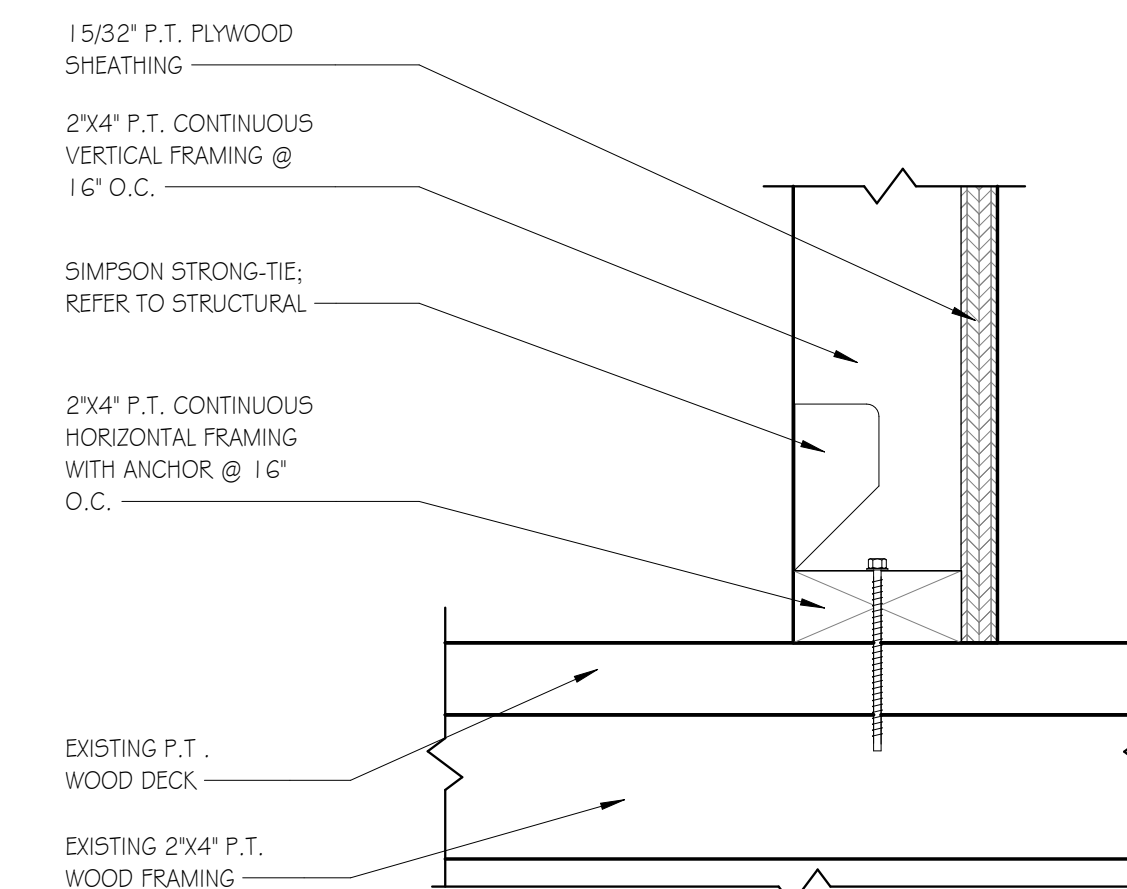
#### 4 SECTION DETAIL

SCALE: 3" = 1'-0"



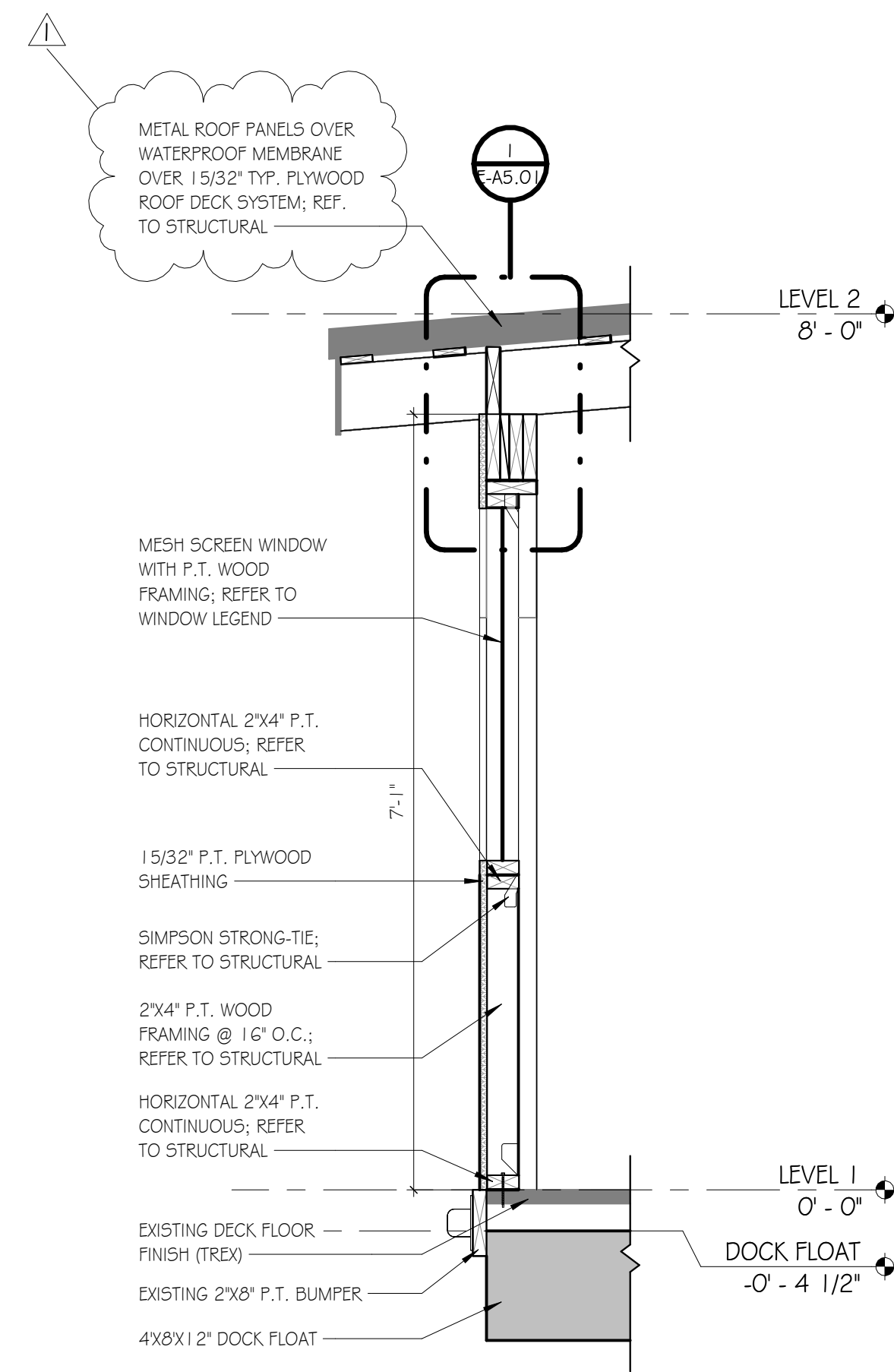
## 8 PLAN DETAIL

SCALE: 3" = 1'-0"



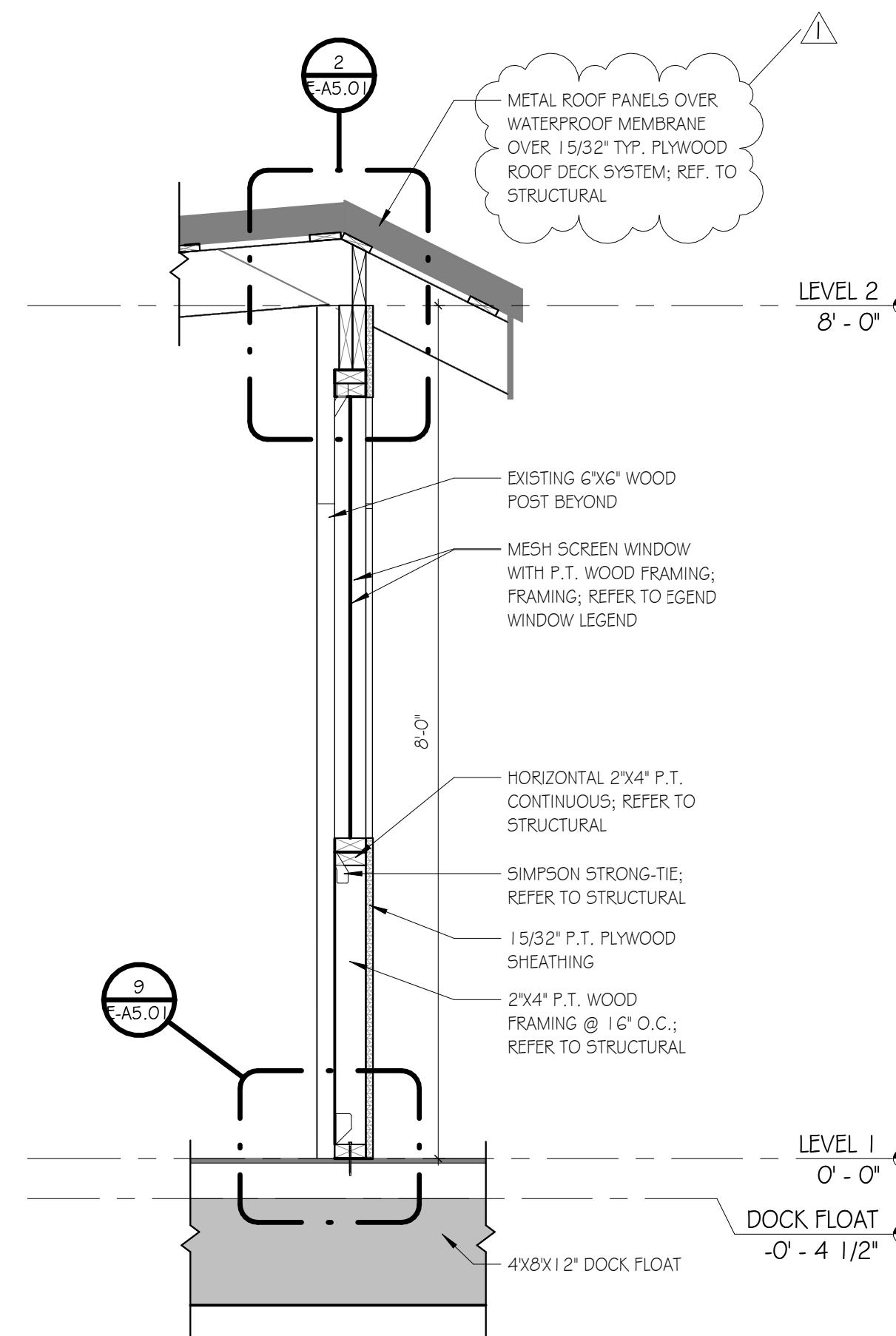
## 9 SECTION DETAIL

SCALE: 3" = 1'-0"



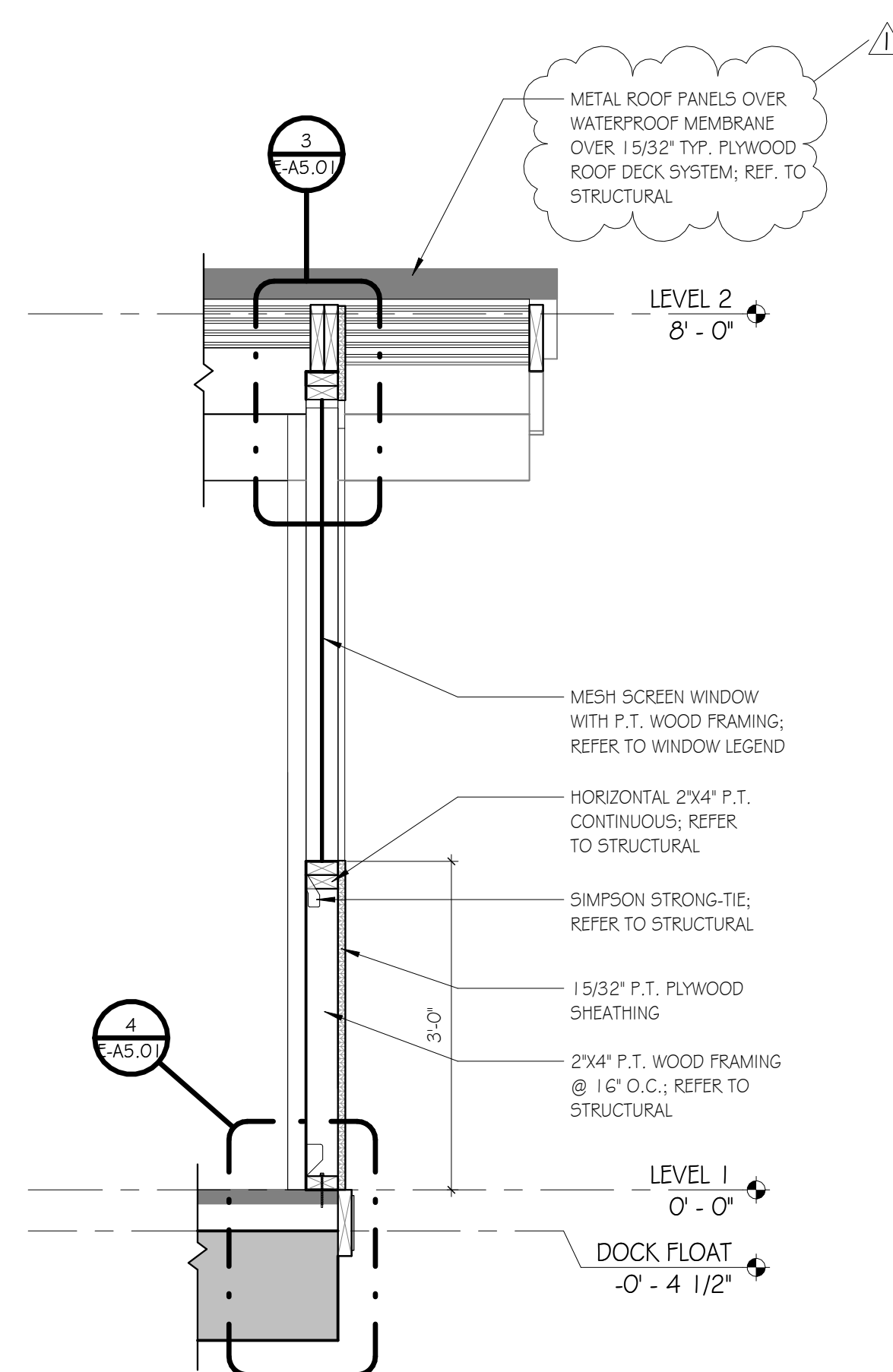
## 5 WALL SECTION

SCALE: 3/4" = 1'-0"



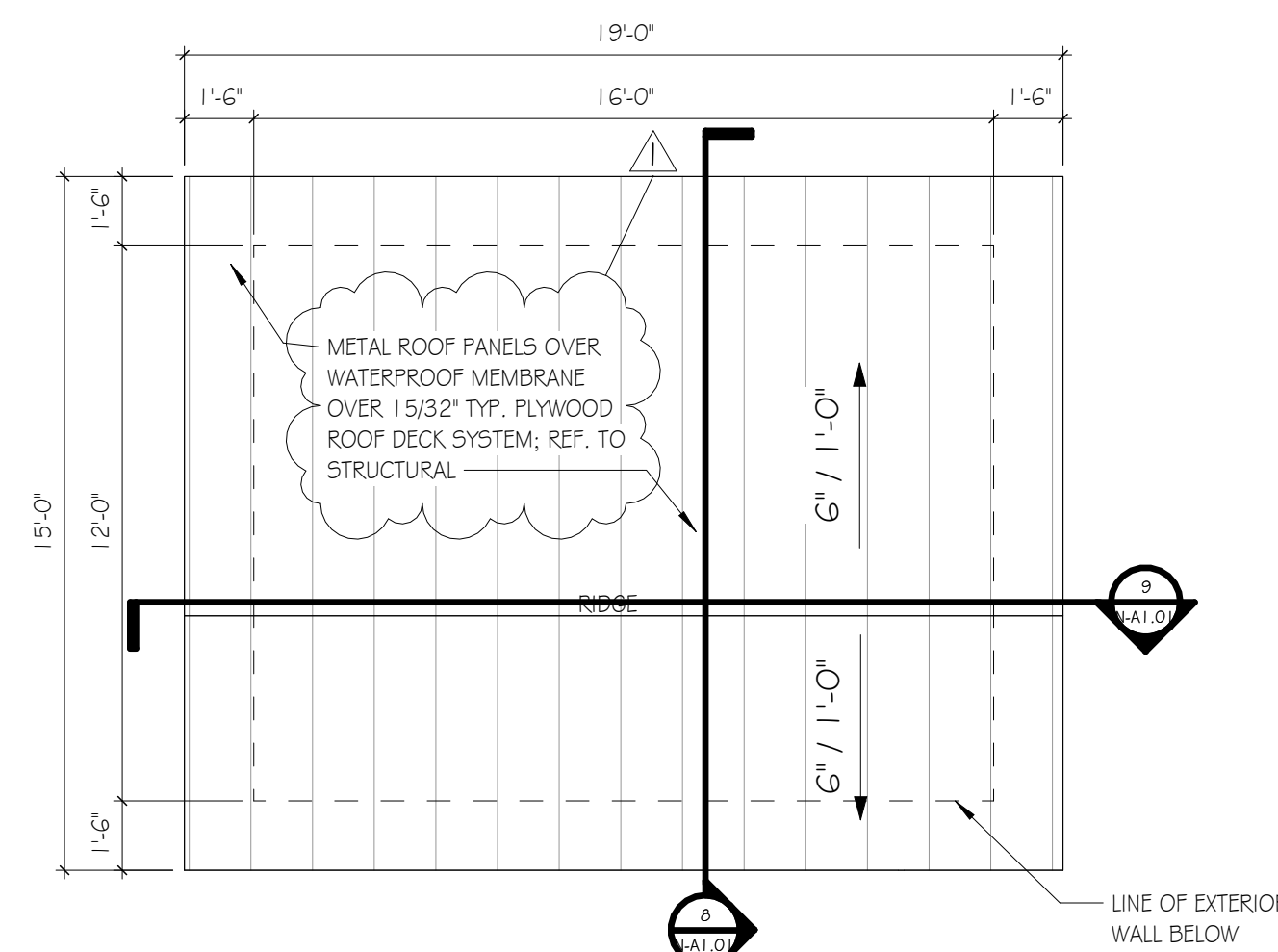
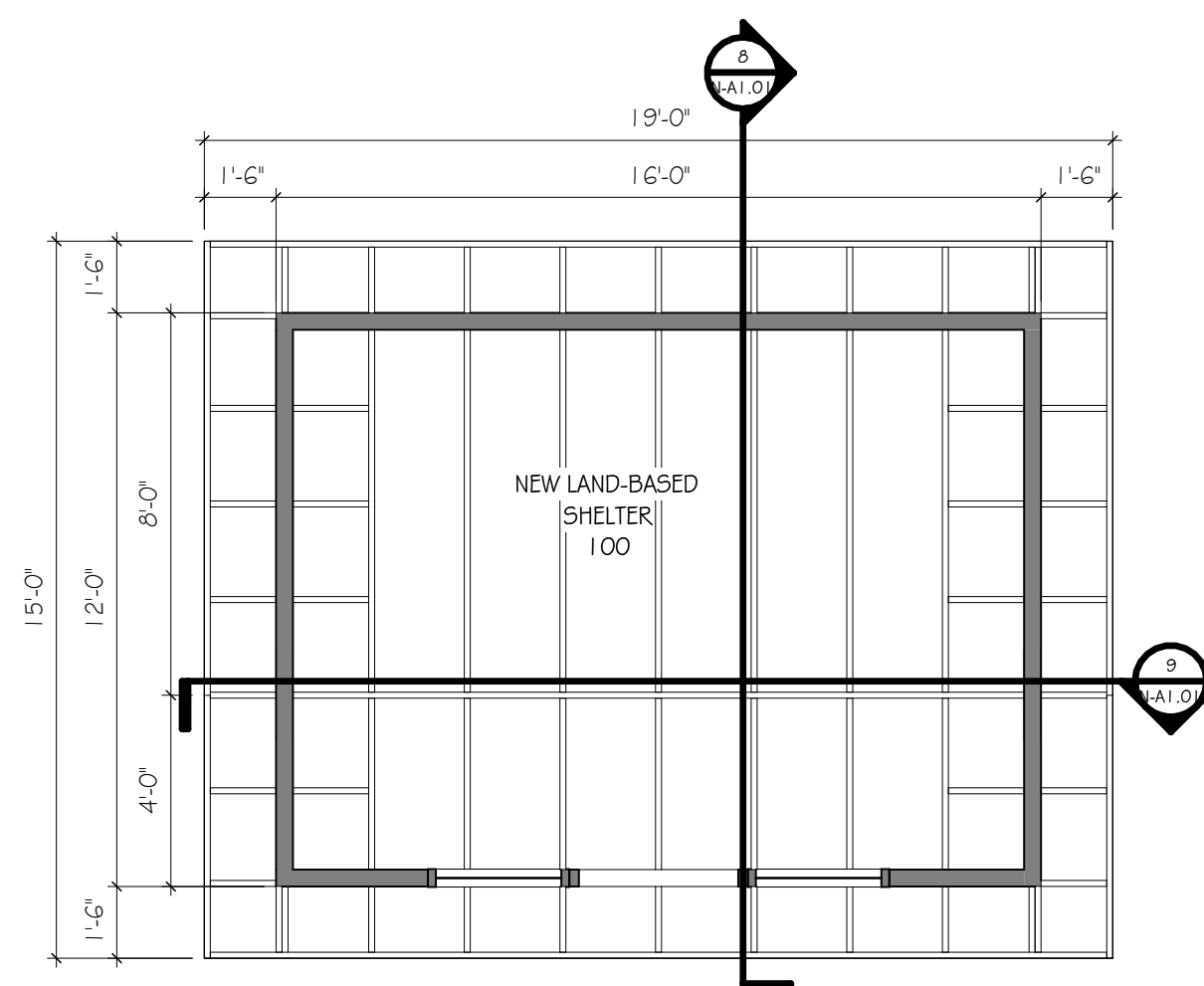
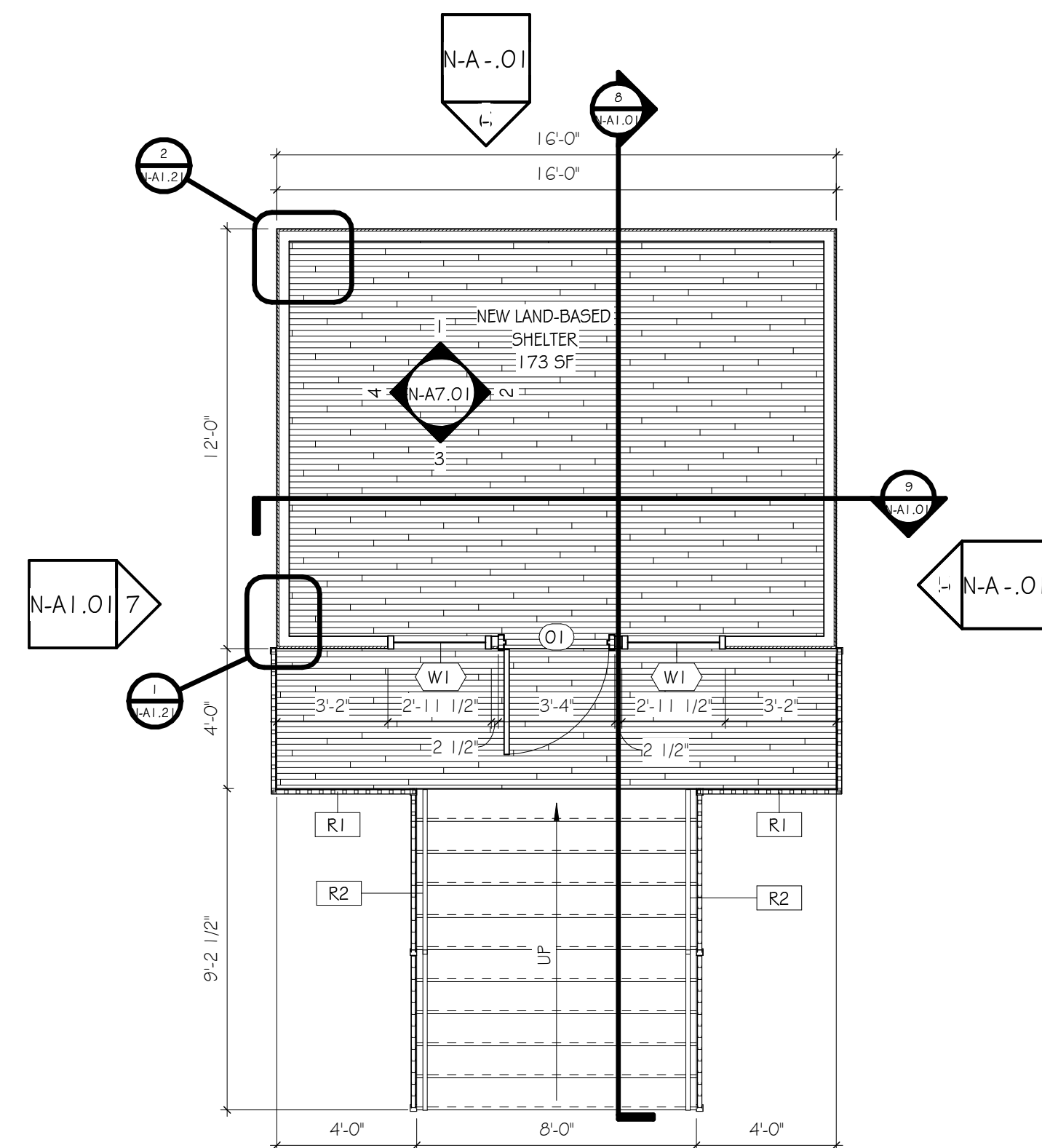
## 6 WALL SECTION

SCALE: 3/4" = 1'-0"



## 7 WALL SECTION


SCALE: 3/4" = 1'-0"



KEY NOTES - GENERAL CONSTRUCTION

KEY	KEYNOTE
G1	[ENTER INSTRUCTIONS]
G2	[ENTER INSTRUCTIONS]

Starter Note
























Copy/paste to plan if needed  
Delete if you're not planning  
to use keynotes

GENERAL NOTES - FLOOR PLAN

1. ENTER GENERAL NOTES HERE

### REFLECTED CEILING PLAN LEGEND

<u>CEILING FINISHES:</u>		<u>LIGHTING:</u>	
	LAY-IN ACOUSTICAL CEILING SYSTEM - 2'X2'		2X2 LAY-IN FIXTURE
	LAY-IN ACOUSTICAL CEILING SYSTEM - 2'X4'		2X4 LAY-IN FIXTURE
	GYP BOARD - INTERIOR EIFS SOFFIT - EXTERIOR		LINEAR SUSPENDED FIXTURE
	EXPOSED STRUCTURE		LINEAR RECESSED FIXTURE
	2X2 LAY-IN METAL CEILING SYSTEM		LINEAR WALL MT. FIXTURE
	2X2 LAY-IN WOOD CEILING SYSTEM		CIRCULAR SURF. MT. FIXTUR
	RECESSED LIGHT POCKET		CIRCULAR PENDANT FIXTURE
			CIRCULAR RECESSED FIXTUR
			CIRCULAR WALL MT. FIXTURE
<u>MECHANICAL:</u>			
	SUPPLY DIFFUSER		EXIT LIGHT
	RETURN AIR GRILLE		NURSE CALL LIGHT
	EXHAUST FAN		

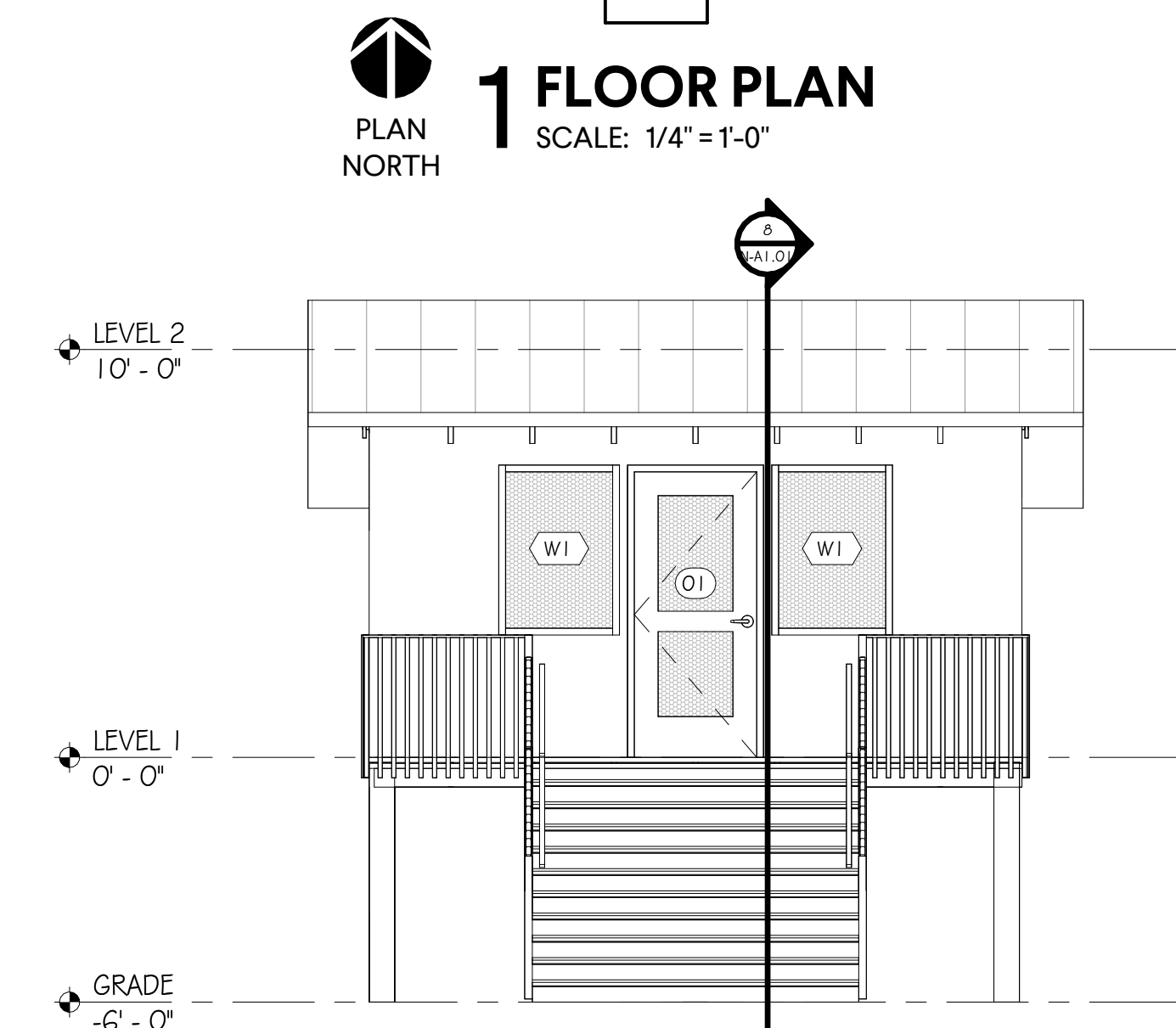
CEILING FINISH LEGEND		
NUMBER	TYPE	DETAIL DESCRIPTION
EXP - I	EXPOSED TO STRUCTURE	EXPOSED TO STRUCTURE - WITH NO FINISH

## GENERAL NOTES - REFLECTED CEILING PLAN

1. CEILING HEIGHTS SHALL BE AS NOTED ON REFLECTED CEILING PLANS.
2. WHEREVER POSSIBLE NO CEILING TILE SHOULD BE LESS THAN 6" IN ANY DIRECTION.
3. SEE ELECTRICAL FOR ALL LIGHT FIXTURE TYPES AND SIZES.
4. SEE MECHANICAL FOR ALL DIFFUSER TYPES AND SIZES.
5. SEE INTERIOR ELEVATIONS FOR WALL MOUNTED LIGHT FIXTURE HEIGHT AND LOCATIONS.
6. COORDINATE LOCATIONS OF ALL LIGHTS, DIFFUSERS, AND DEVICES BETWEEN THIS RCP AND MECHANICAL, FIRE PROTECTION, AND ELECTRICAL. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING.
7. WHERE EXIT SIGNS ARE LOCATED ABOVE DOORWAYS, CENTER FIXTURE OVER DOOR BUT MAINTAIN MINIMUM OVERHEAD CLEARANCE.
8. ALL SPRINKLER HEADS IN ACOUSTIC CEILINGS SHALL BE CENTERED IN CEILING TILE.
9. ALL BULKHEADS TO BE 4" BELOW ADJACENT ACT CEILING UNLESS NOTED OTHERWISE.

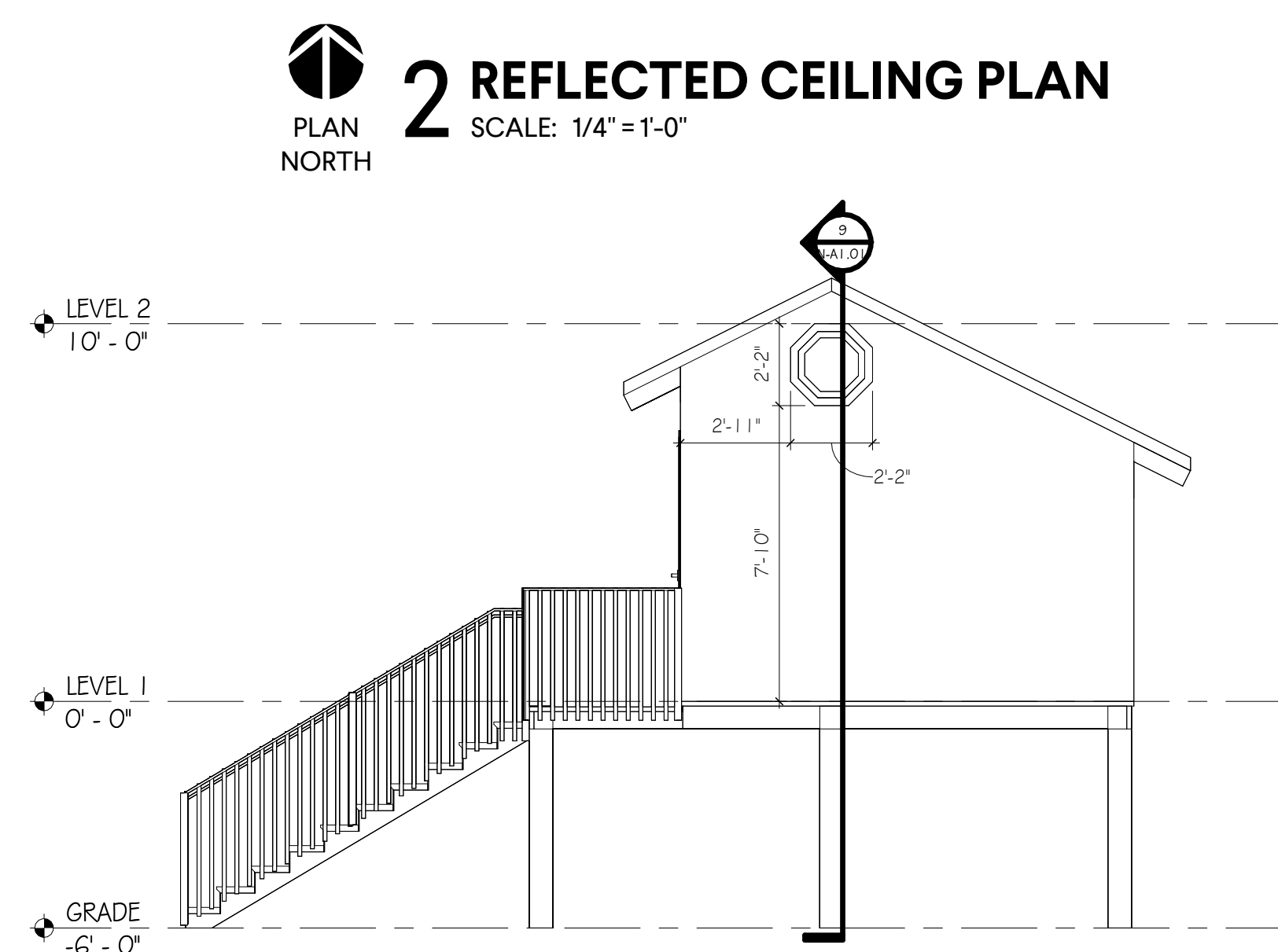
GENERAL NOTES - ROOF PLAN

1. ENTER GENERAL NOTES HERE

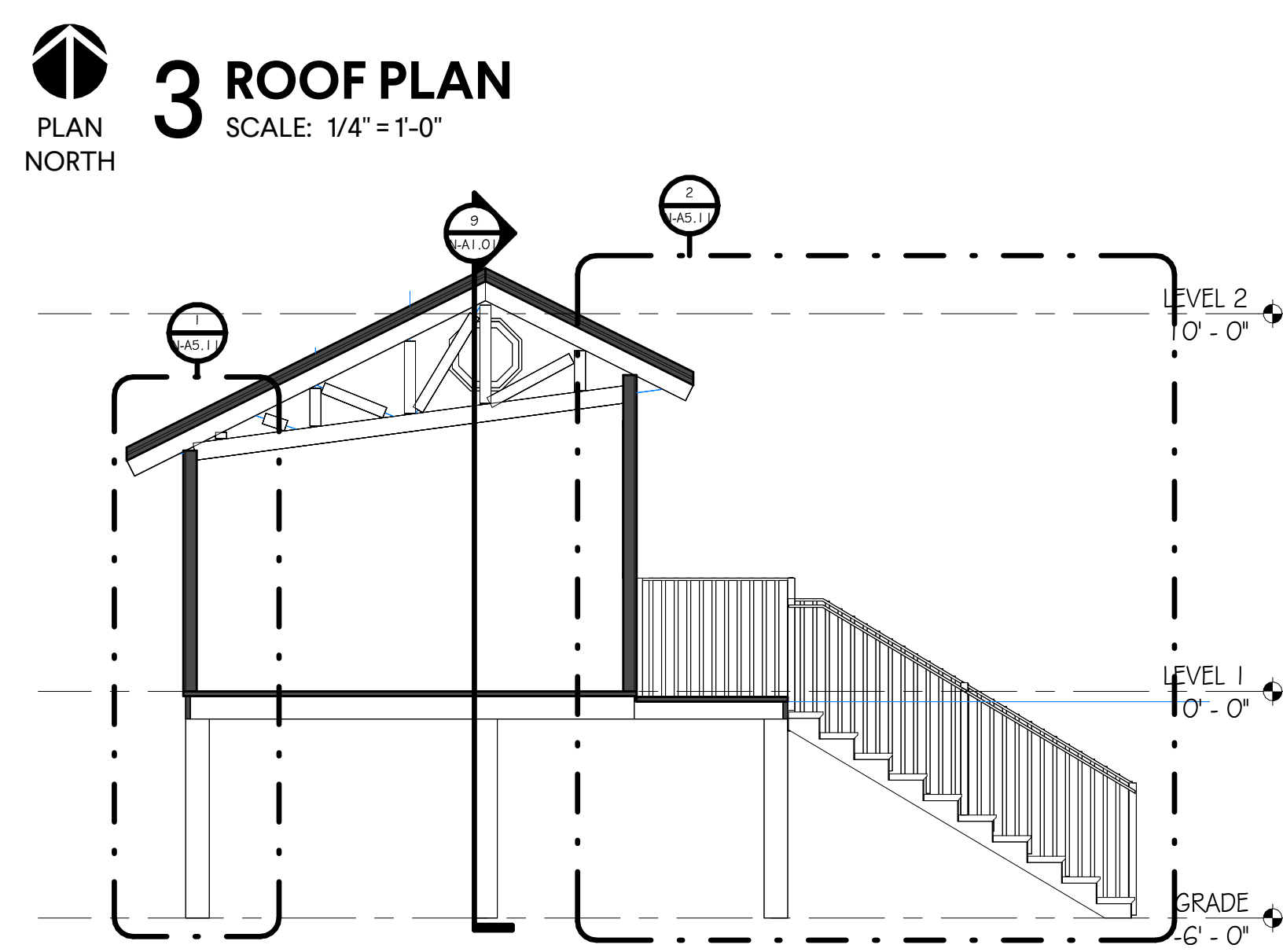


## 4 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

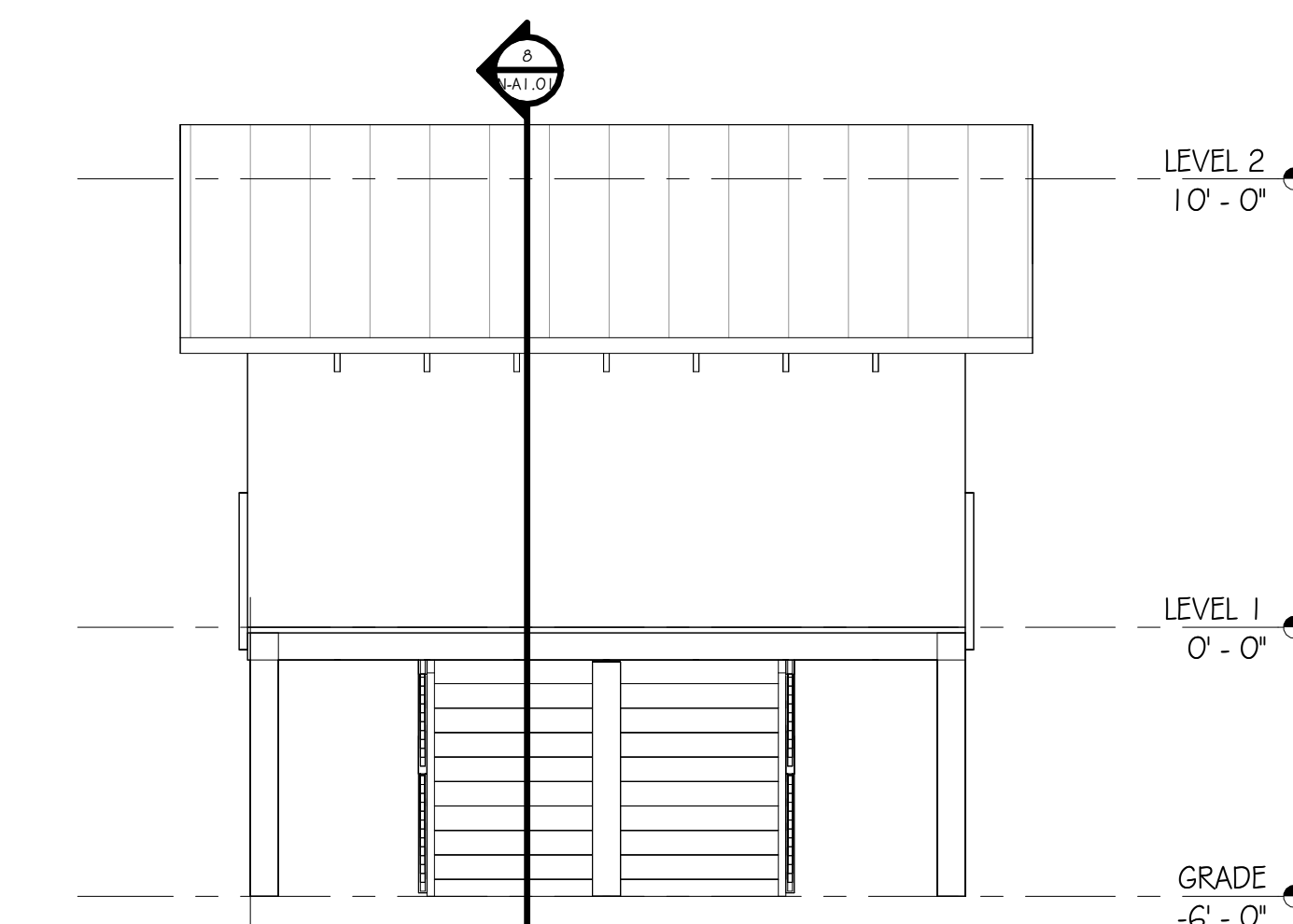


## 5 EAST ELEVATION

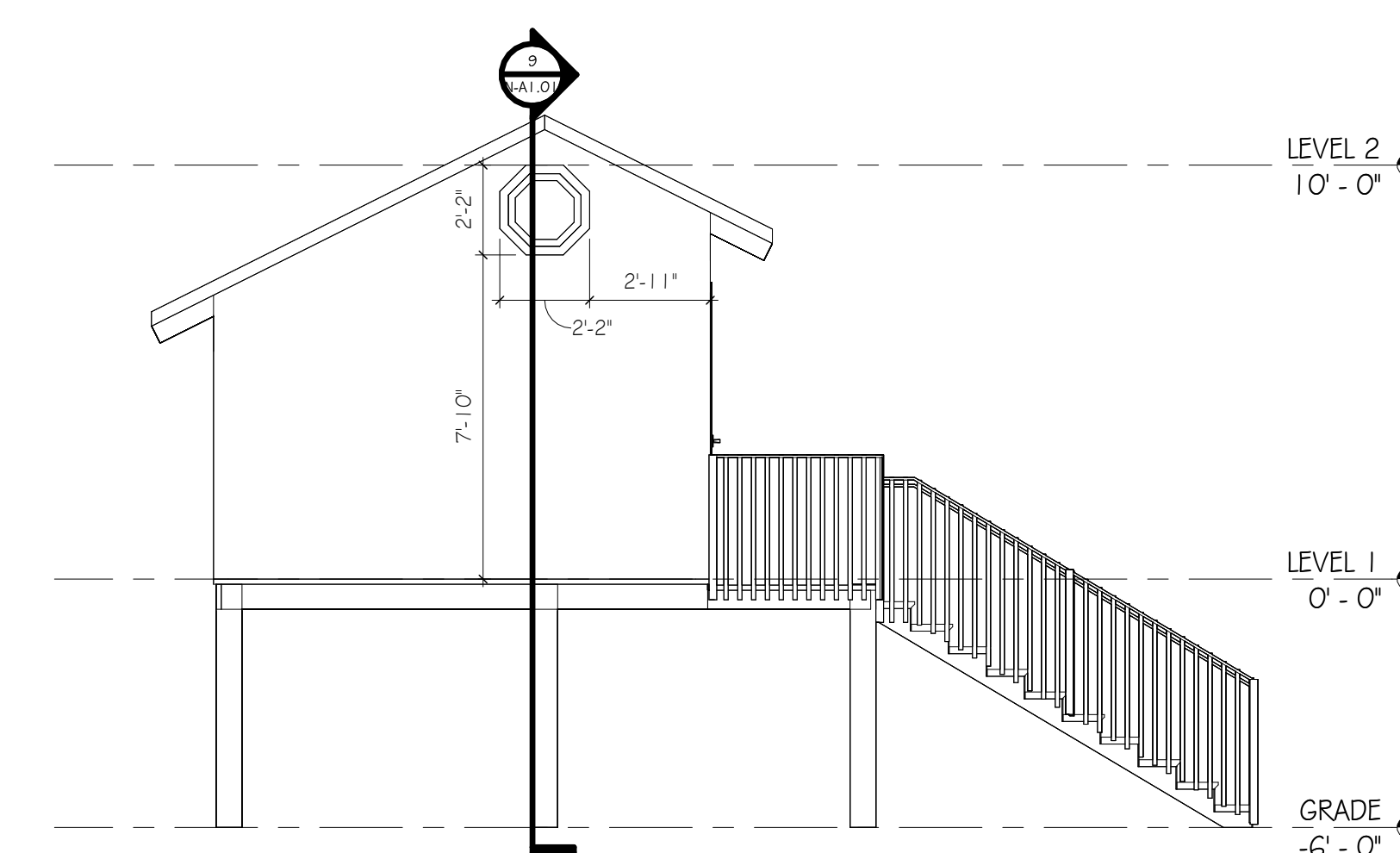


## 8 BUILDING SECTION

SCALE: 1/4" = 1'-0"

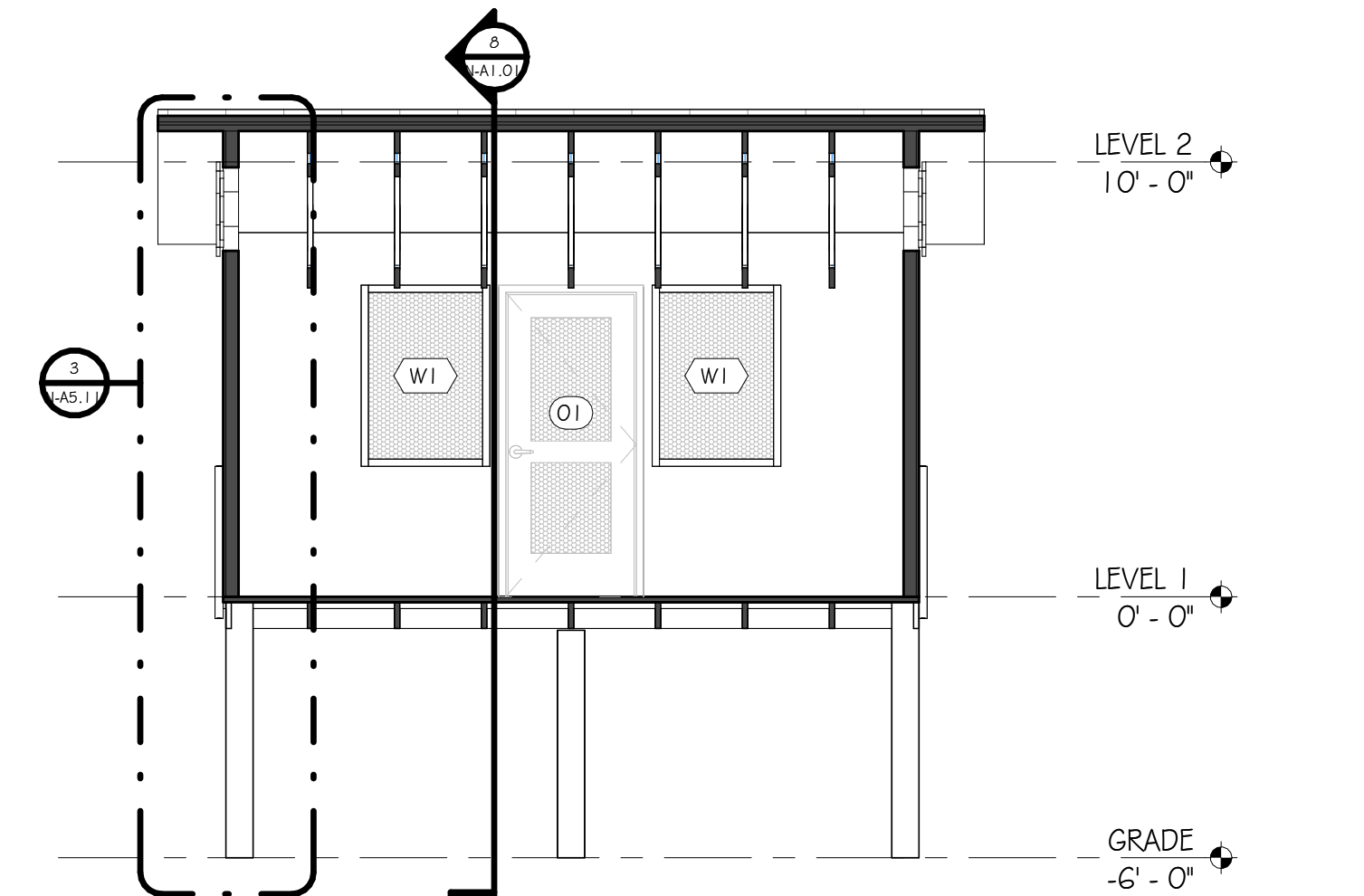


## 6 NORTH ELEVATION



## 7 WEST ELEVATION

SCALE: 1/4" = 1'-0"



## 9 BUILDING SECTION

SCALE: 1/4" = 1'-0"

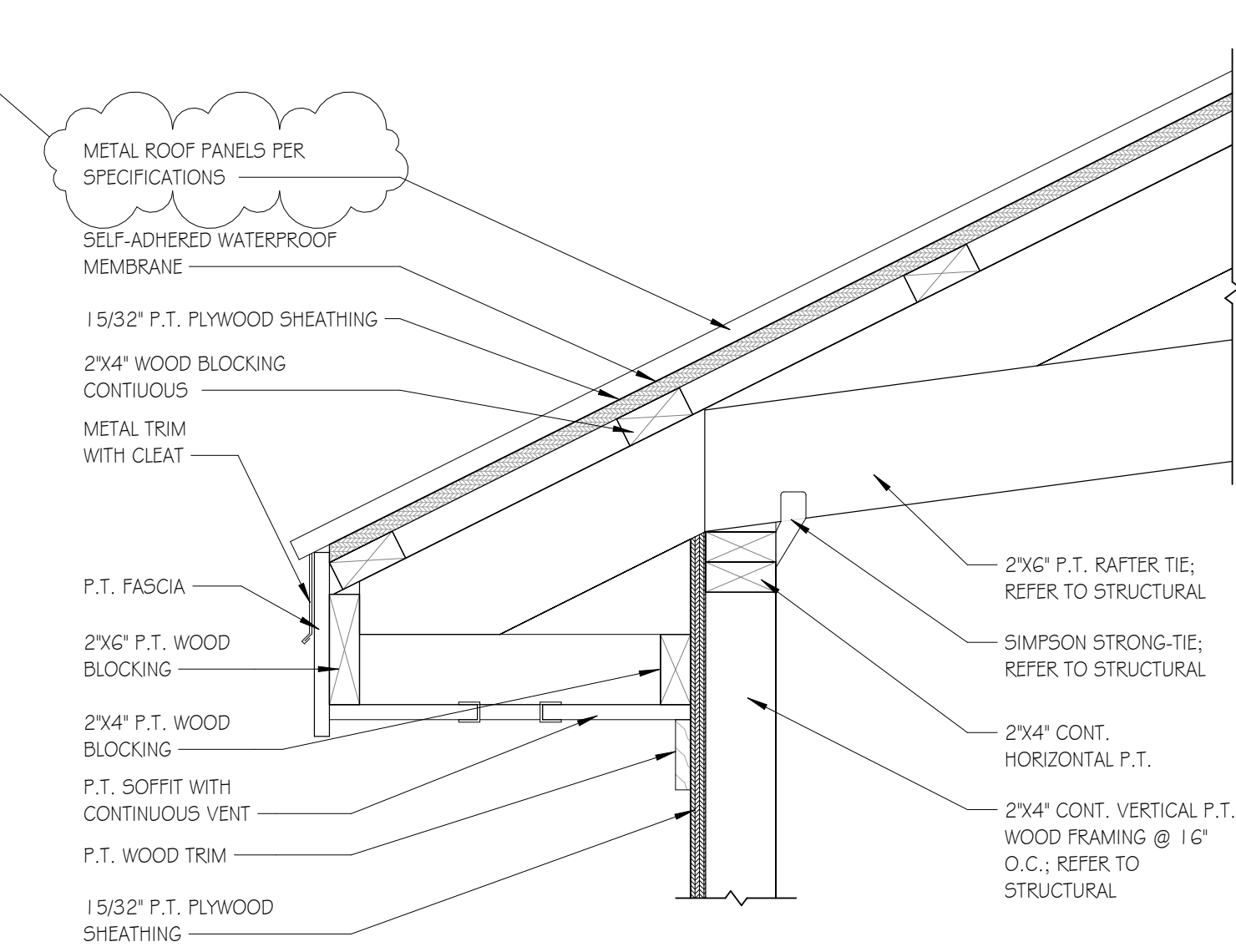




H  
G  
F  
E  
D  
C  
B  
A

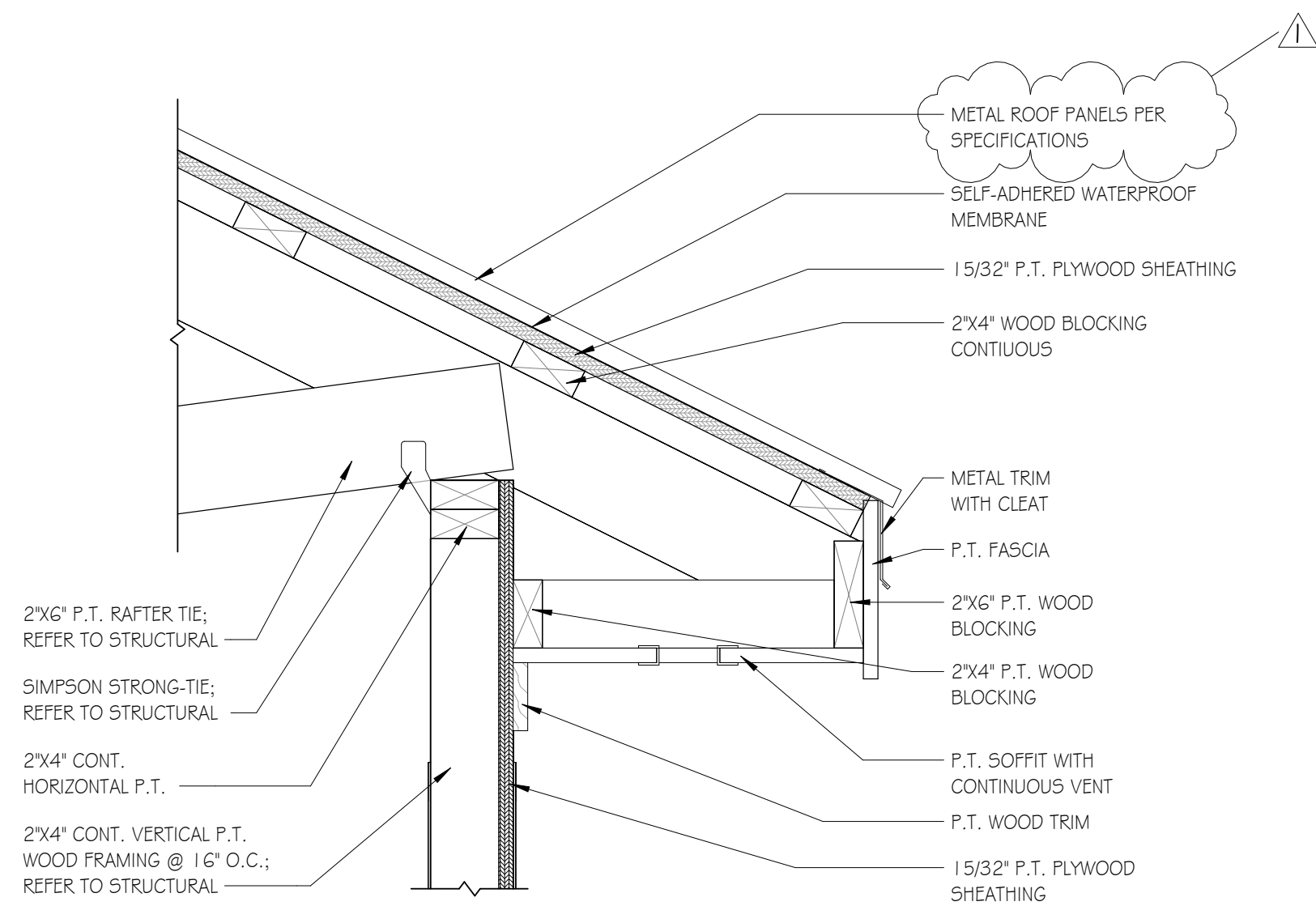
## 4 SECTION DETAIL

SCALE: 11/2" = 1'-0"



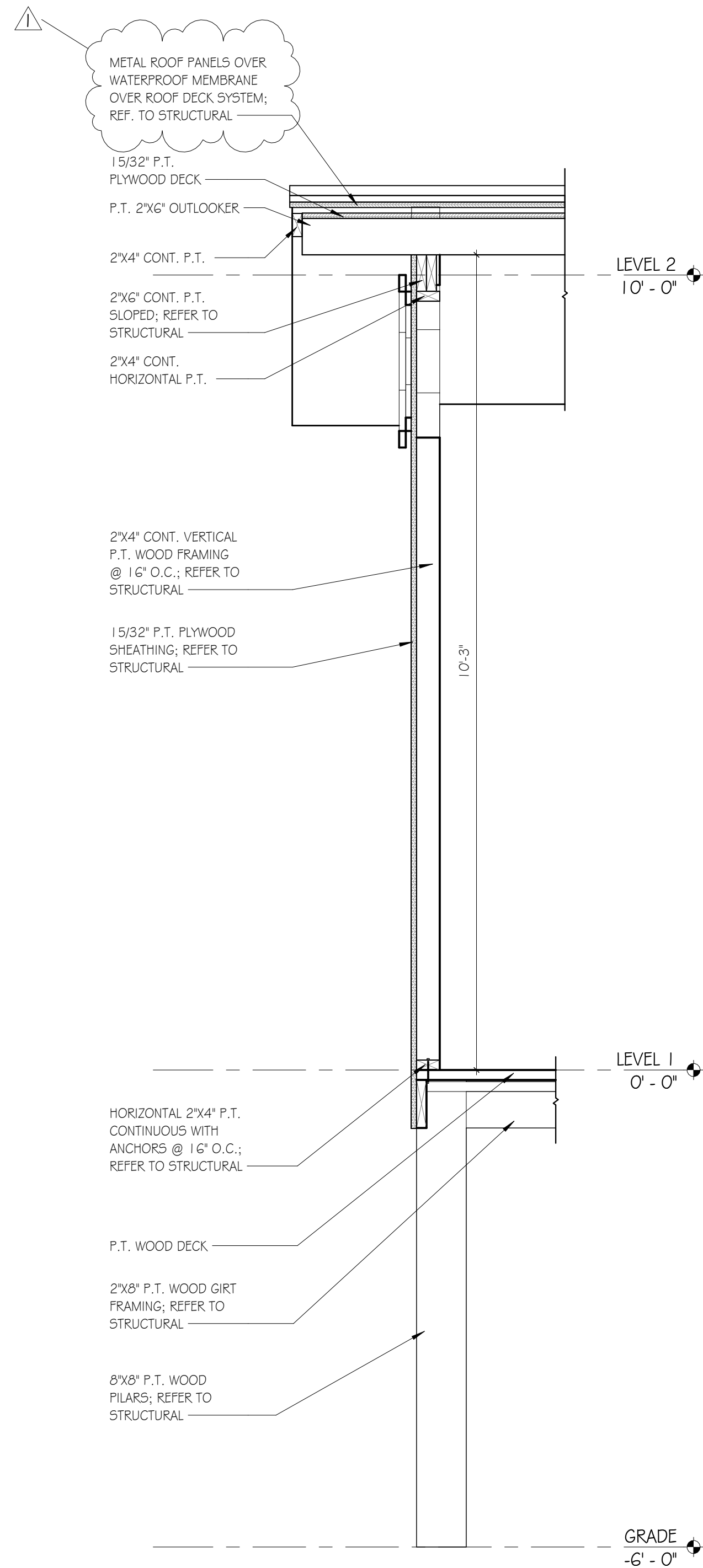
## 5 SECTION DETAIL

SCALE: 11/2" = 1'-0"



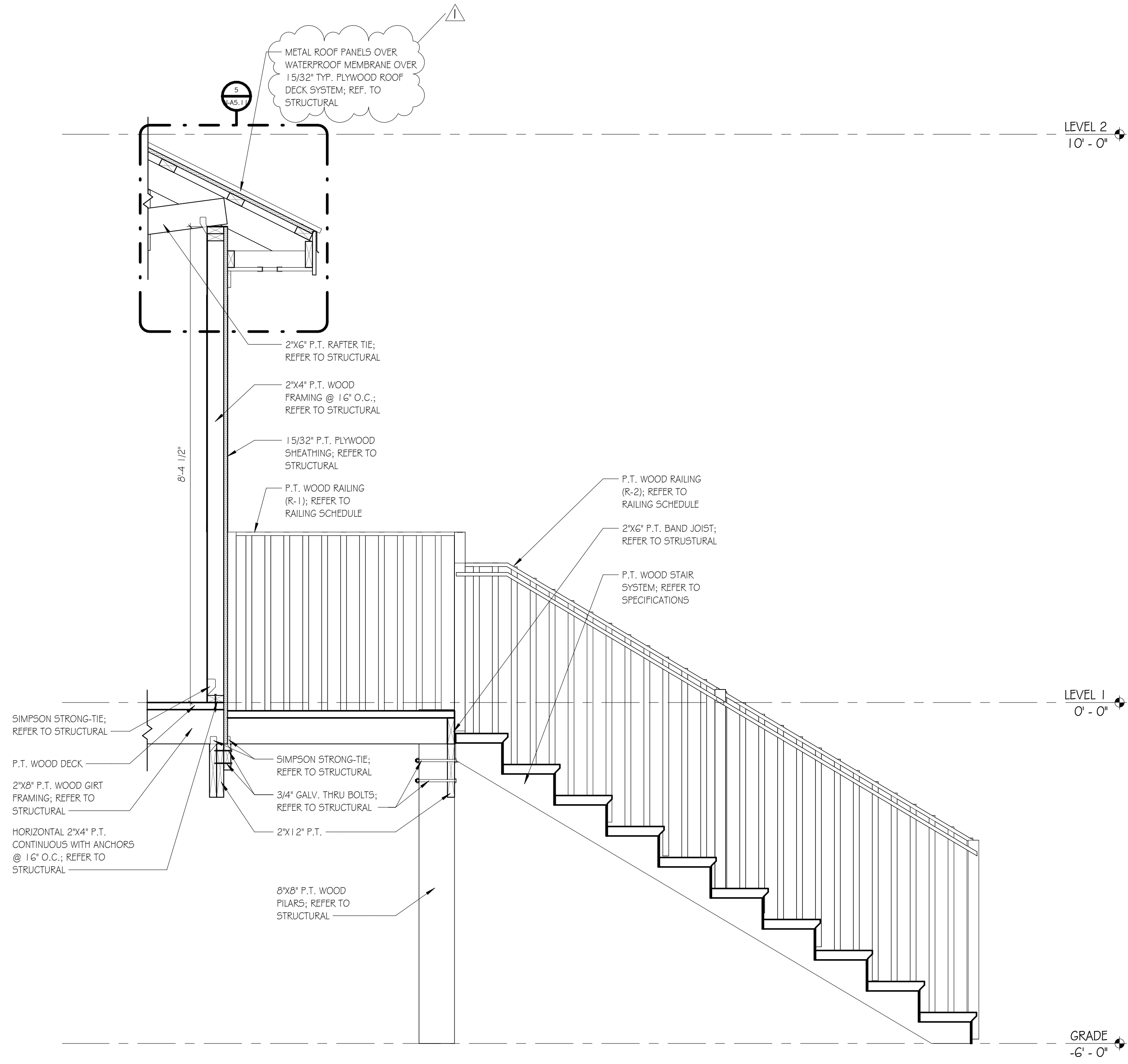
## 3 WALL SECTION

SCALE: 3/4" = 1'-0"



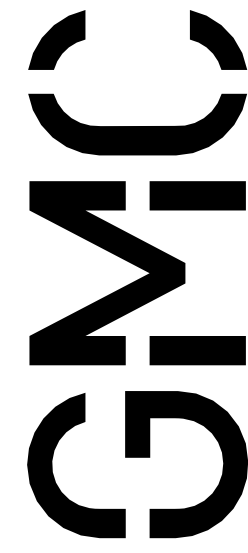
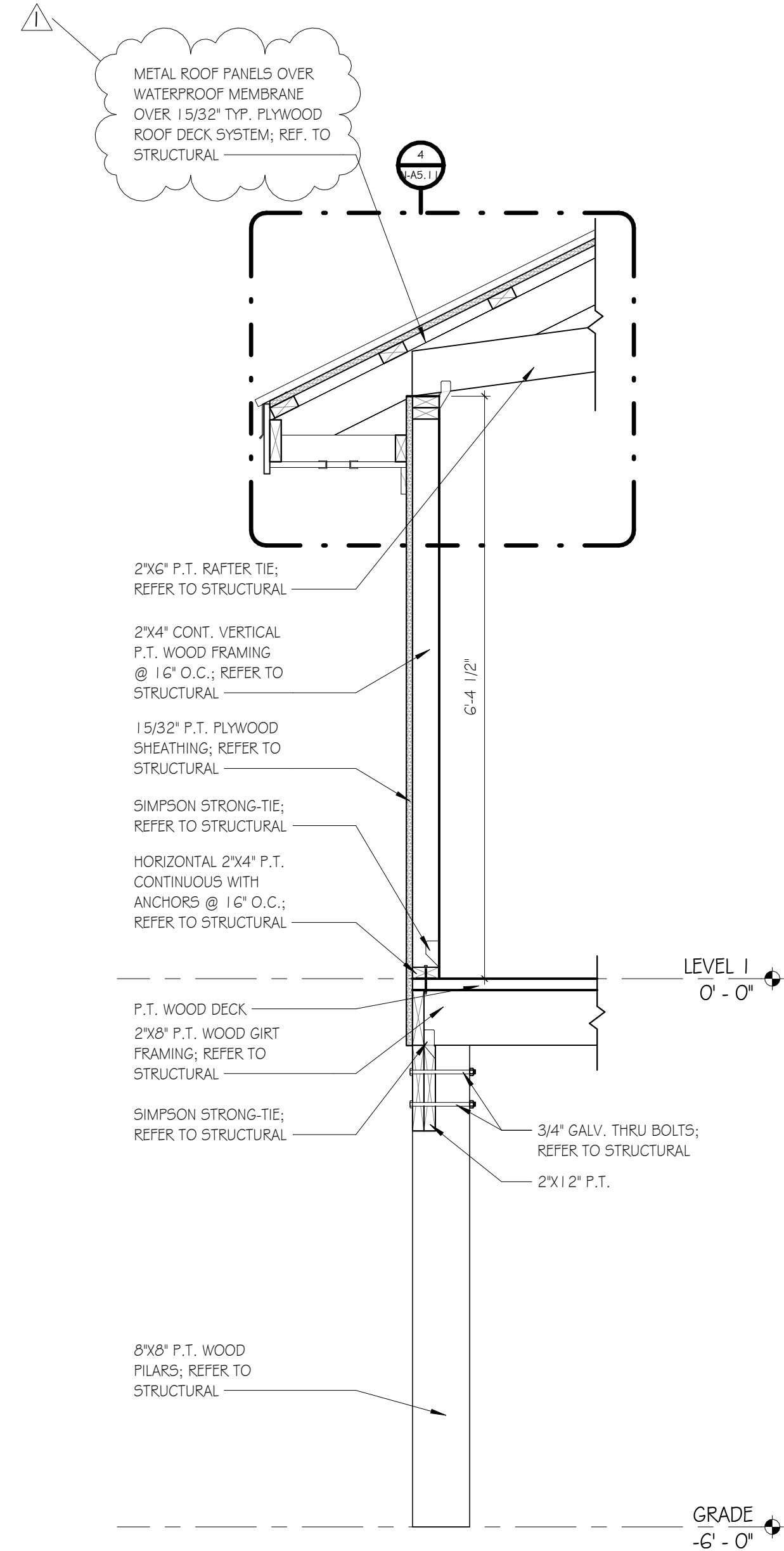
## 2 WALL SECTION

SCALE: 3/4" = 1'-0"



## 1 WALL SECTION

SCALE: 3/4" = 1'-0"



Goodwyn Mills Cawood, LLC  
11 North Water Street, Suite 15250  
Mobile, AL 36602  
T 251.460.4006  
GMCNETWORK.COM

### ISSUE DATE

ISSUE FOR BID SET 07/03/2025

ADDENDUM 1 07/29/2025

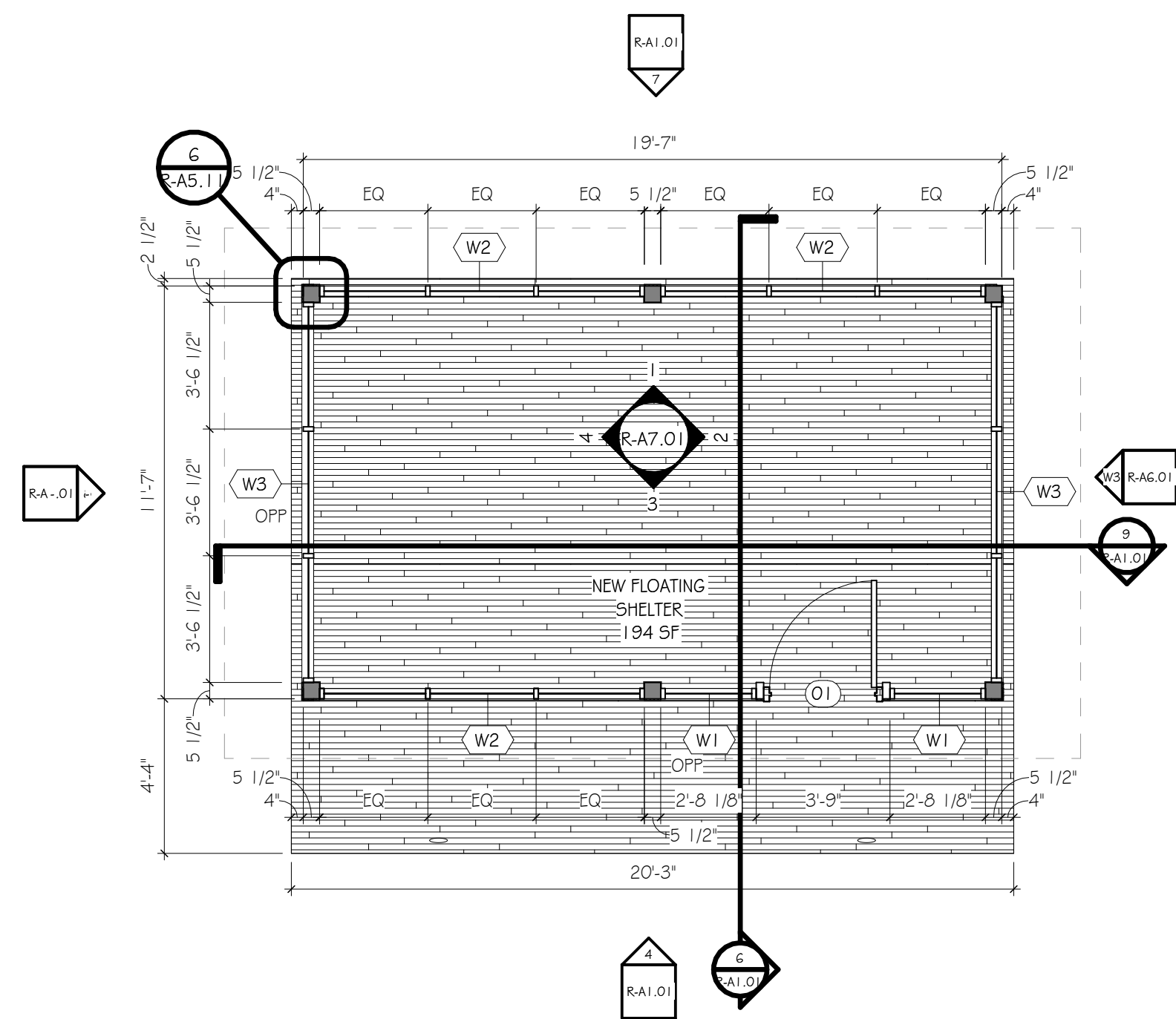
GMC #AMOB240054


ADCNR KAYAK SHELTERS -  
NEW LAND-BASED SHELTER  
30945 FIVE RIVERS BOULEVARD,  
SPANISH FORT, AL 36527

WALL SECTIONS &  
SECTION DETAILS

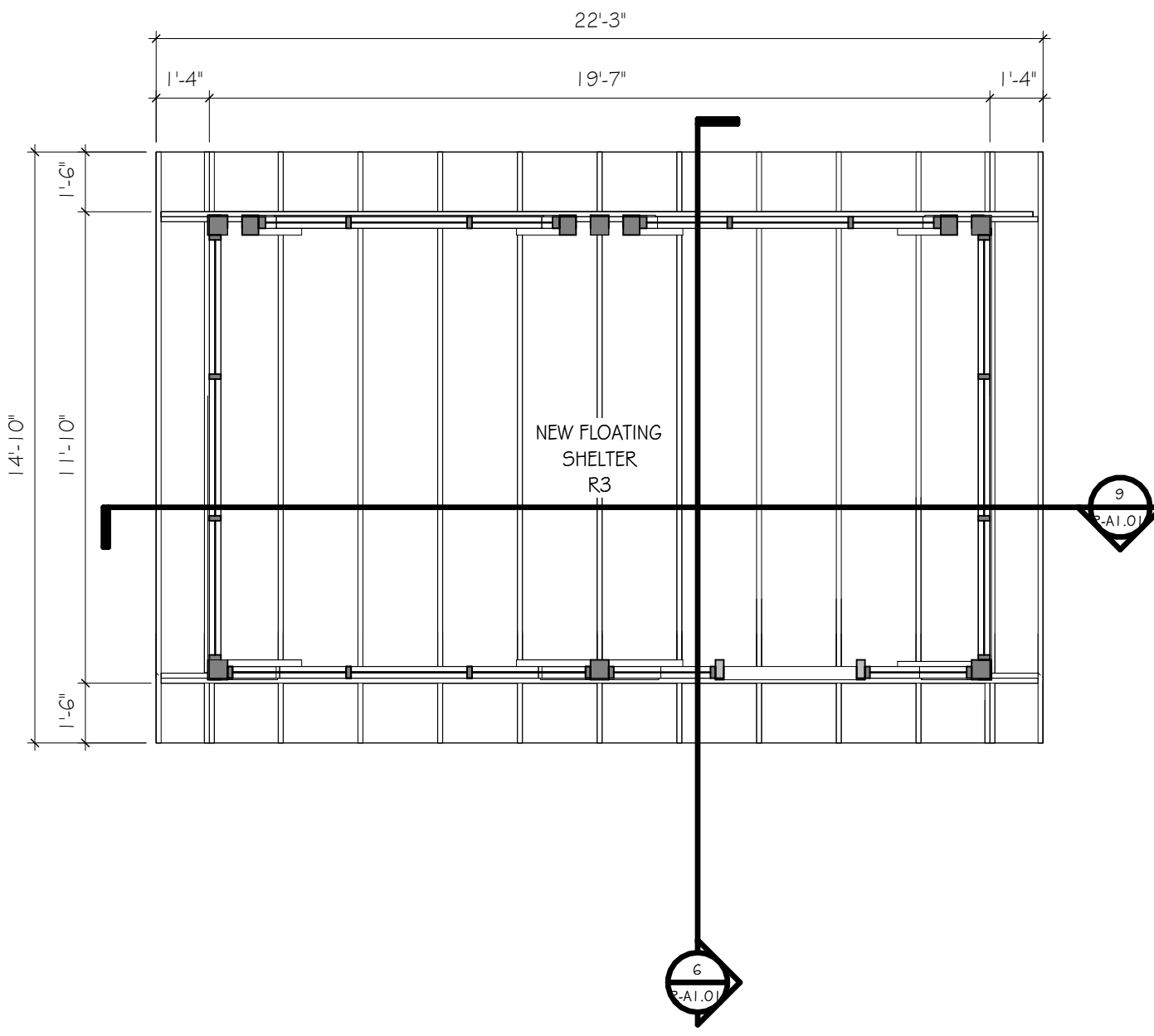
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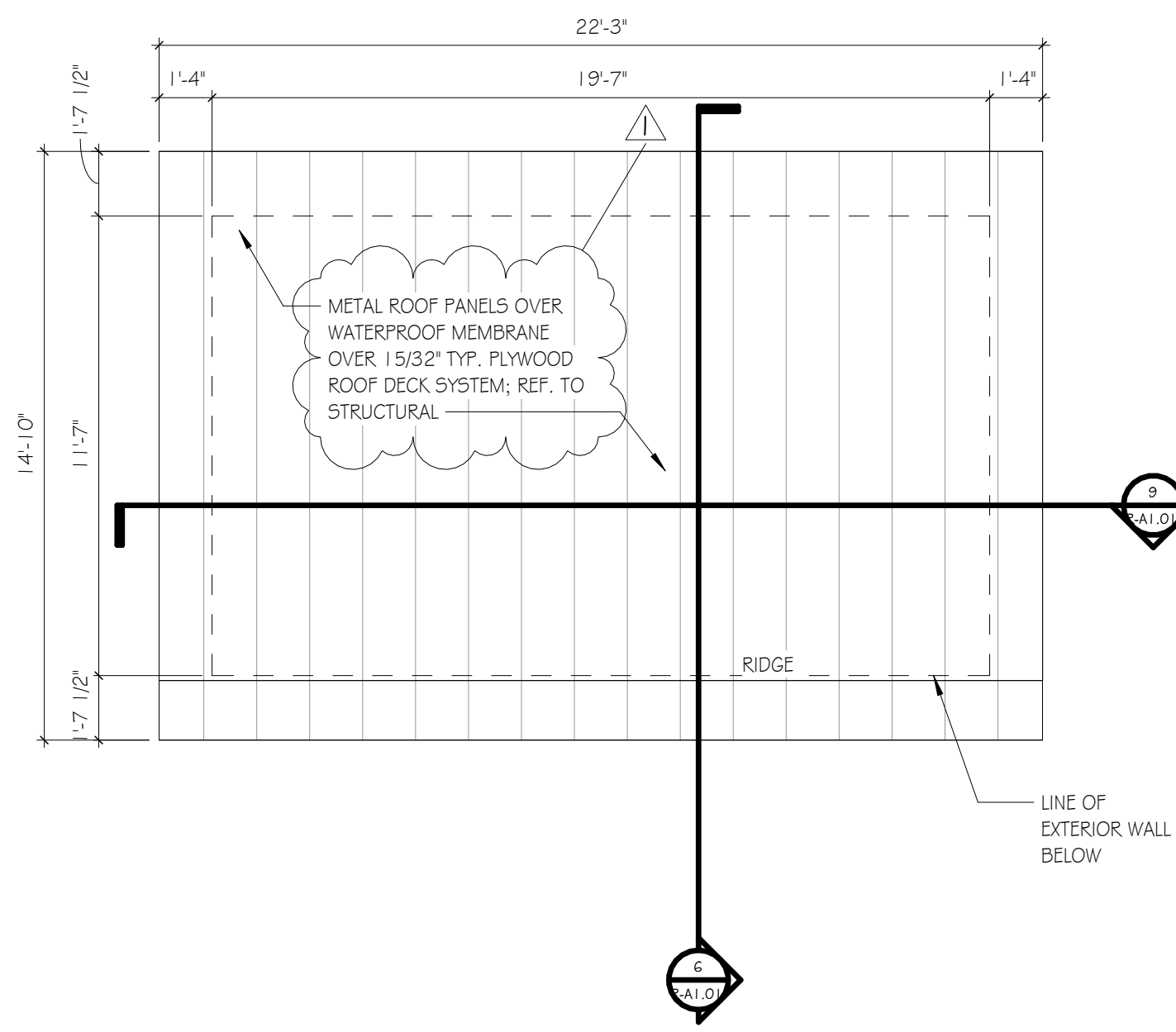
 PLAN NORTH

**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



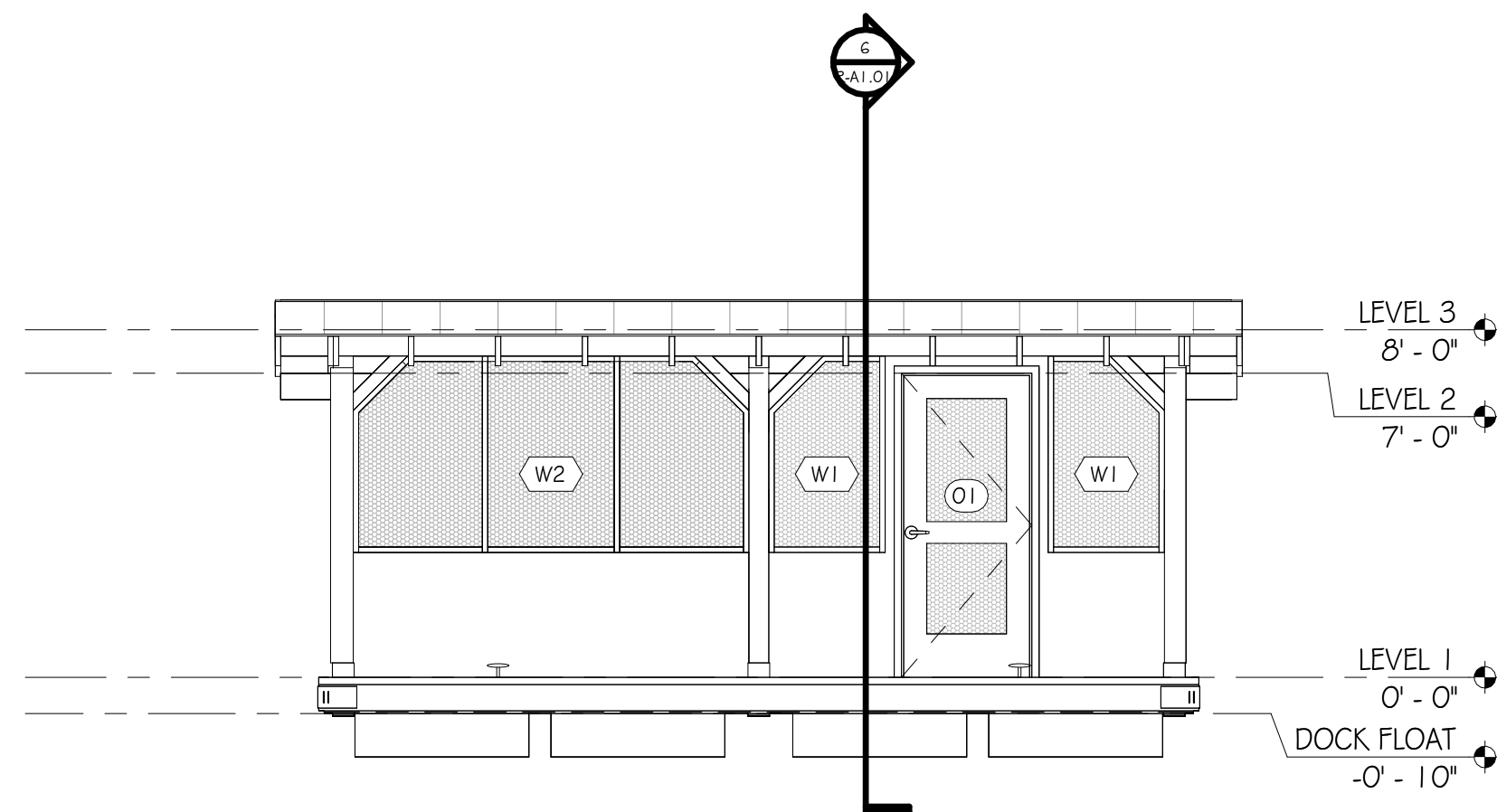
PLAN NORTH

**2 REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

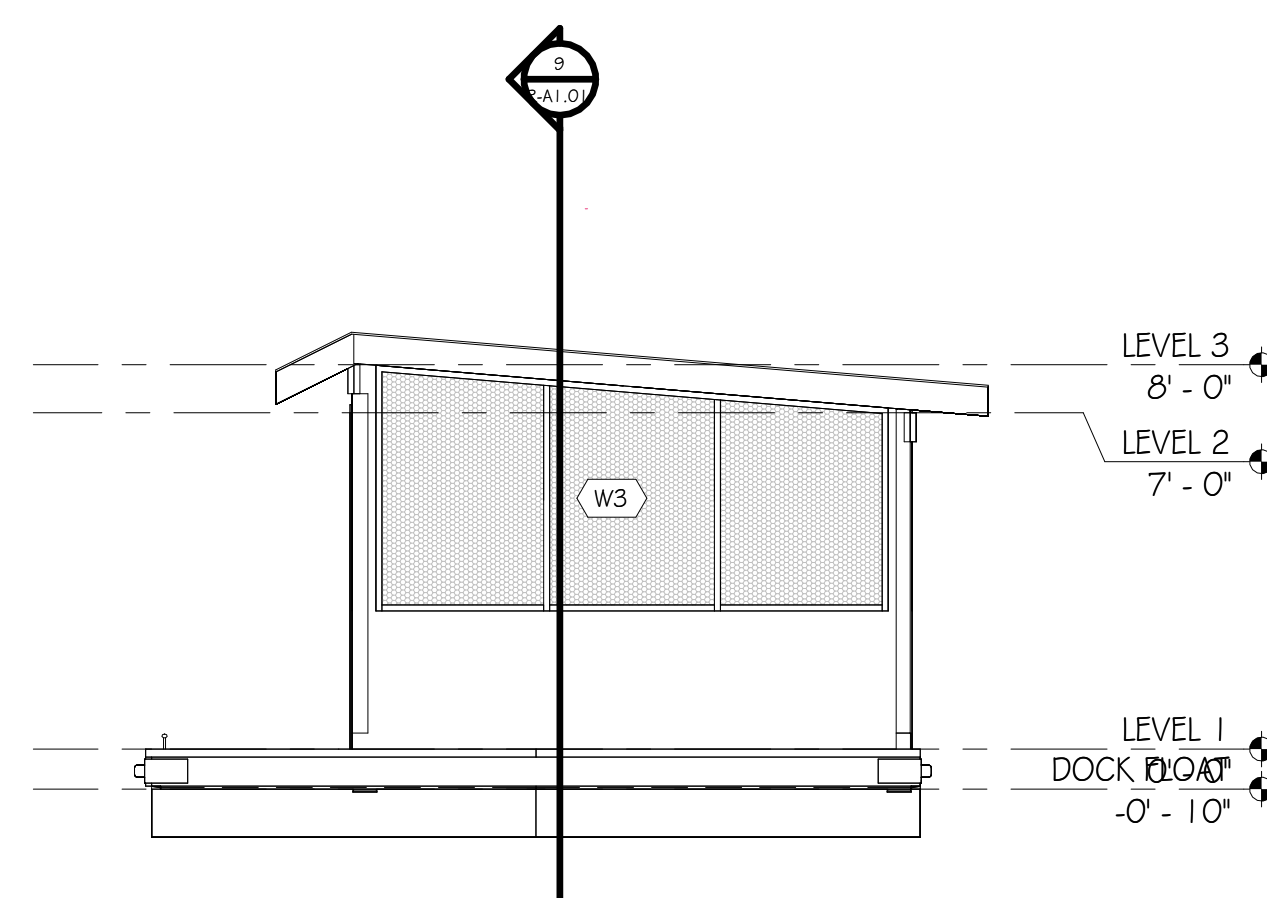


PLAN NORTH

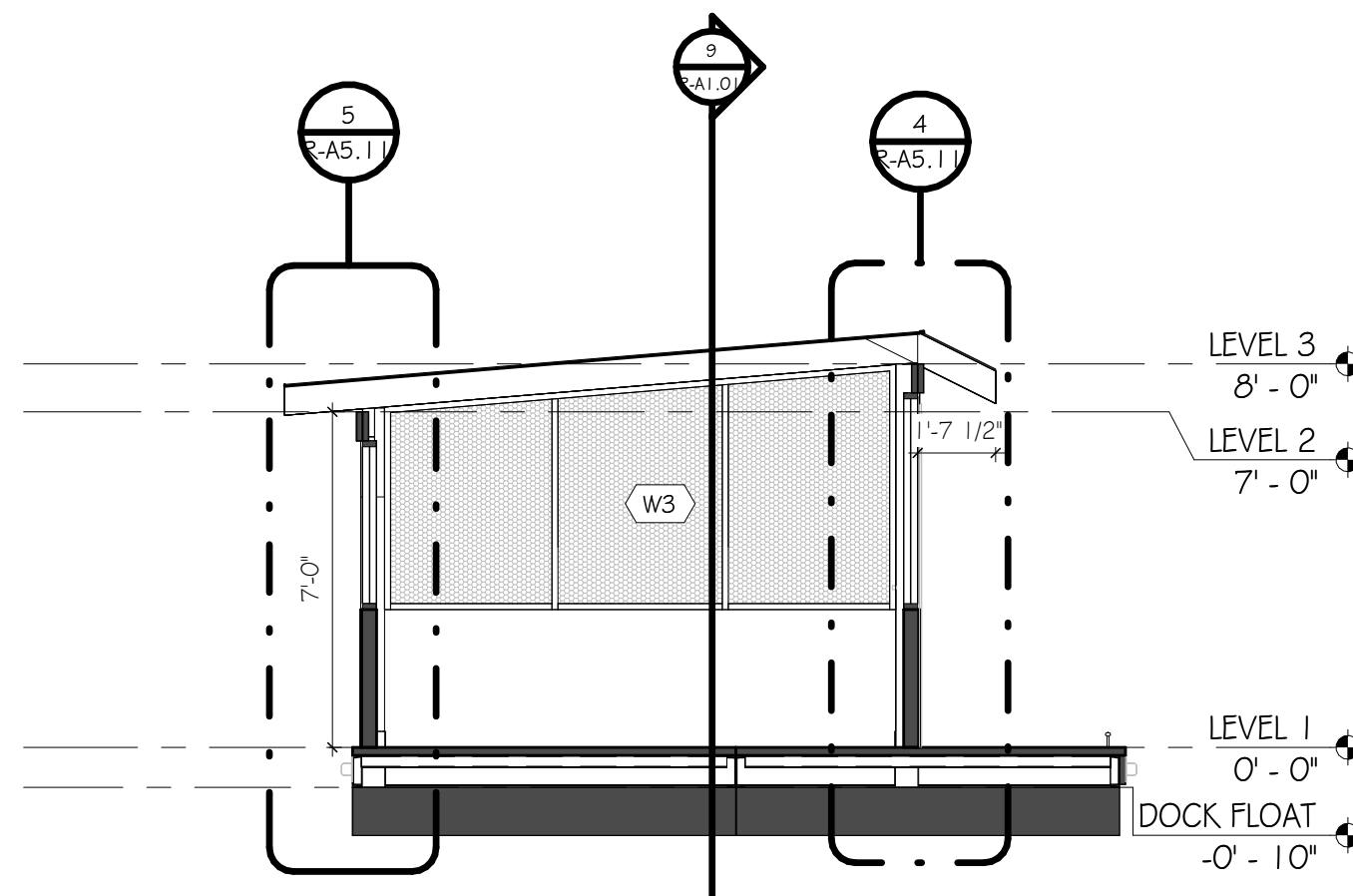
**3 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



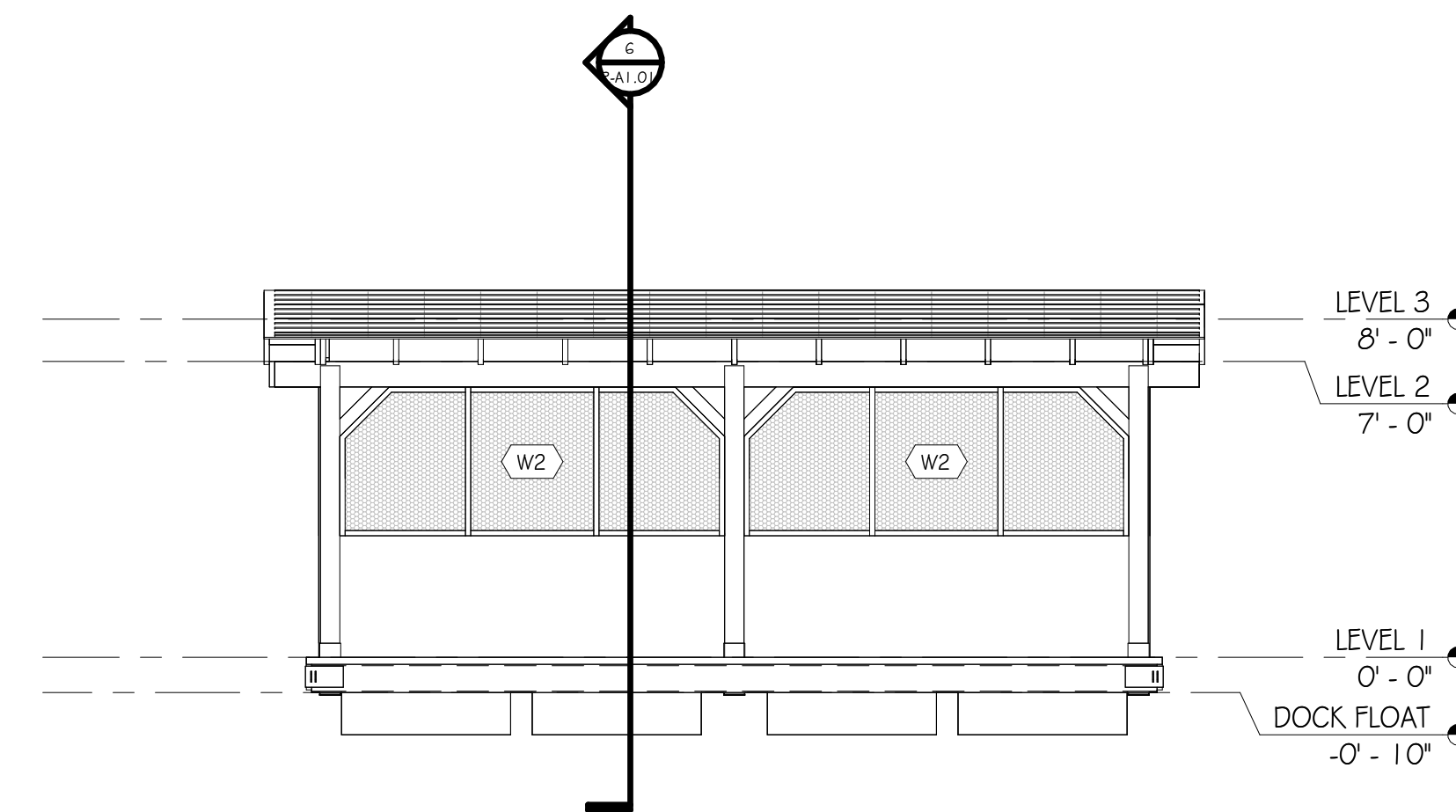
## 4 SOUTH ELEVATION



## 5 EAST ELEVATION

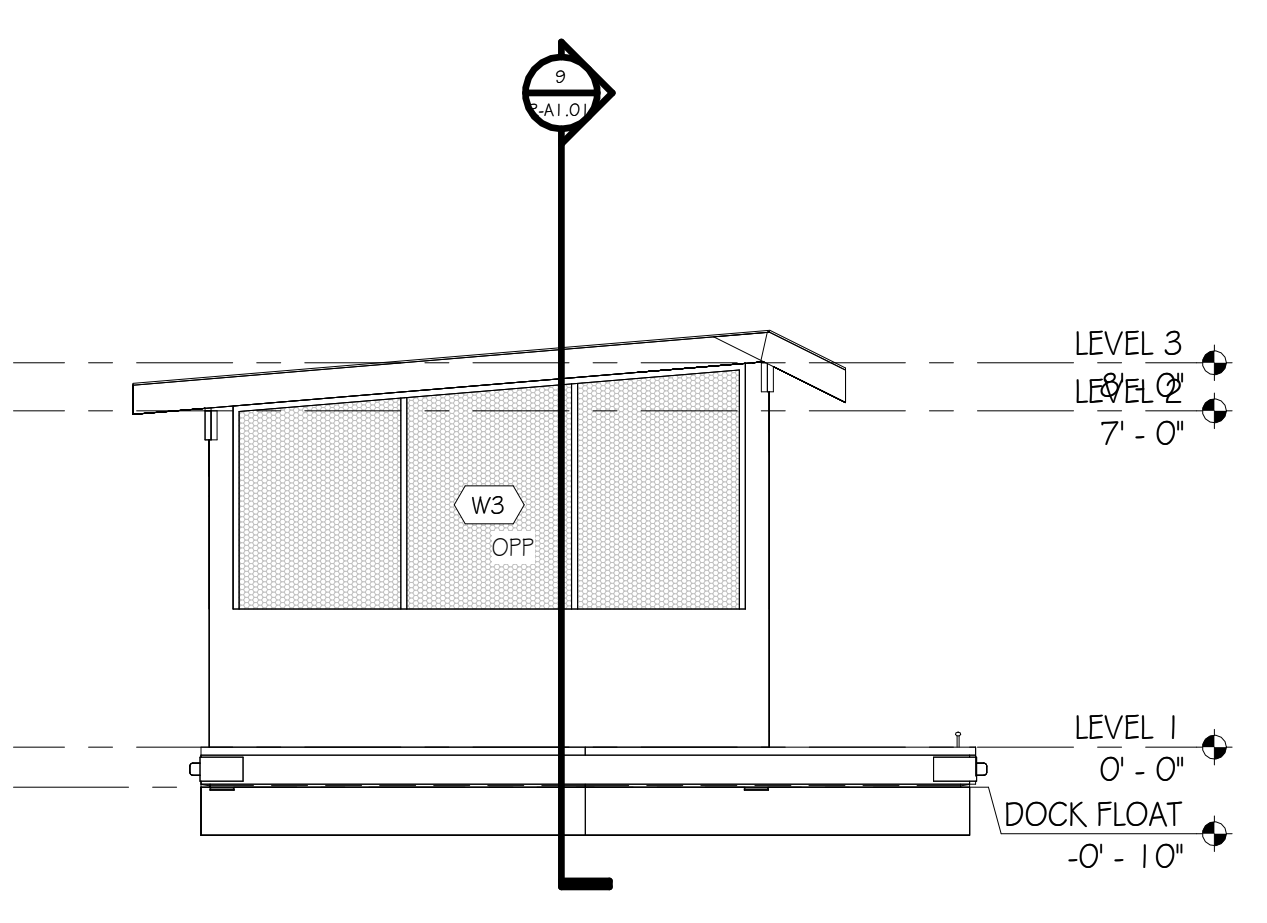


## 6 BUILDING SECTION



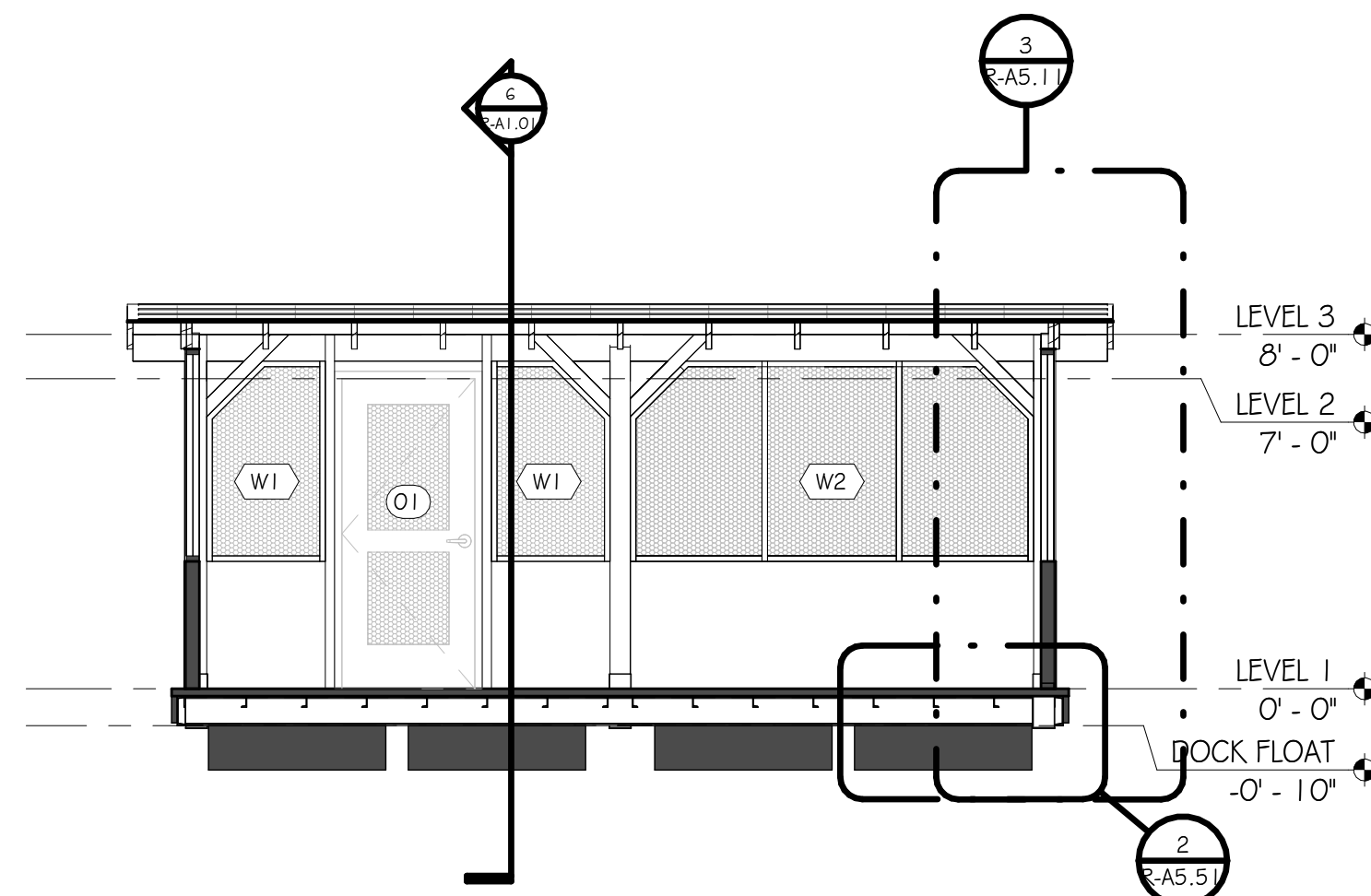
## 7 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



## 8 WEST ELEVATION

SCALE: 1/4" = 1'-0"



## 9 BUILDING SECTION

SCALE: 1/4" = 1'-0"

## KEY NOTES - GENERAL CONSTRUCTION

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G2	[ENTER INSTRUCTIONS]

Starter Note

G1 G2

Copy/paste to plan if needed  
Delete if you're not planning  
to use keynotes

## GENERAL NOTES - FLOOR PLAN

1. ENTER GENERAL NOTES HERE

### CEILING FINISH LEGEND

NUMBER	TYPE	DETAIL DESCRIPTION
EXP - I	EXPOSED TO STRUCTURE	EXPOSED TO STRUCTURE - WITH NO FINISH

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GENERAL NOTES - ROOF PLAN

1. ENTER GENERAL NOTES HERE

ISSUE	DATE
ISSUE FOR BID SET	07/03/2025
ADDENDUM 1	07/29/2025
DRAWN BY:	EMH_CCM
CHECKED BY:	CNL



**PLANS, EXTERIOR  
ELEVATIONS, & BUILDING  
SECTIONS**

Goodwyn Mills Cawood, LLC  
11 North Water Street, Suite 15250  
Mobile, AL 36602  
T 251.460.4006  
GMCNETWORK.COM

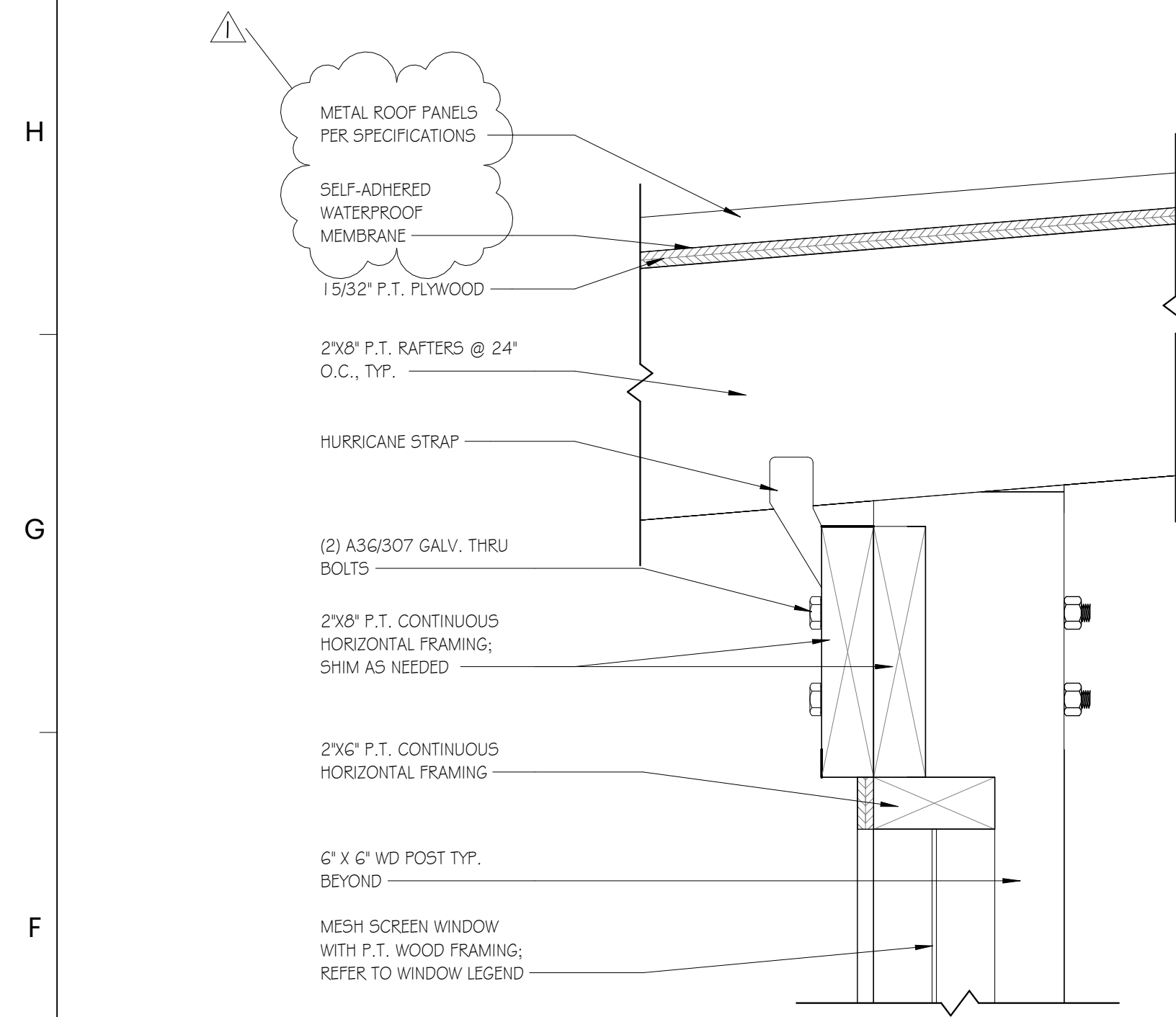
GMC #AMOB240054

# R-A1.01

7/31/2025 12:32:02 PM TEMPLATE VERSION: 2022.1

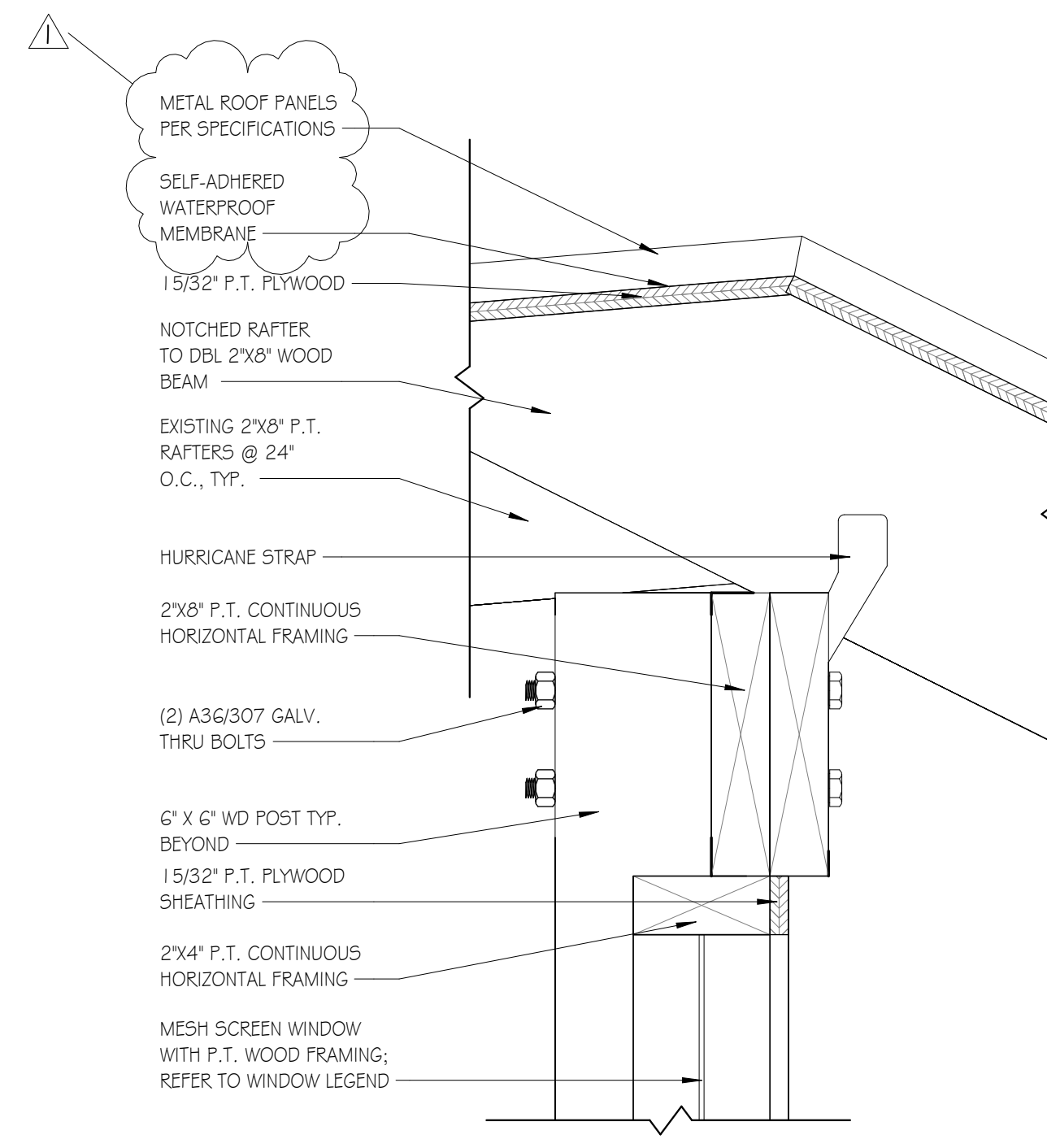
TEMPLATE VERSION: 2022.1





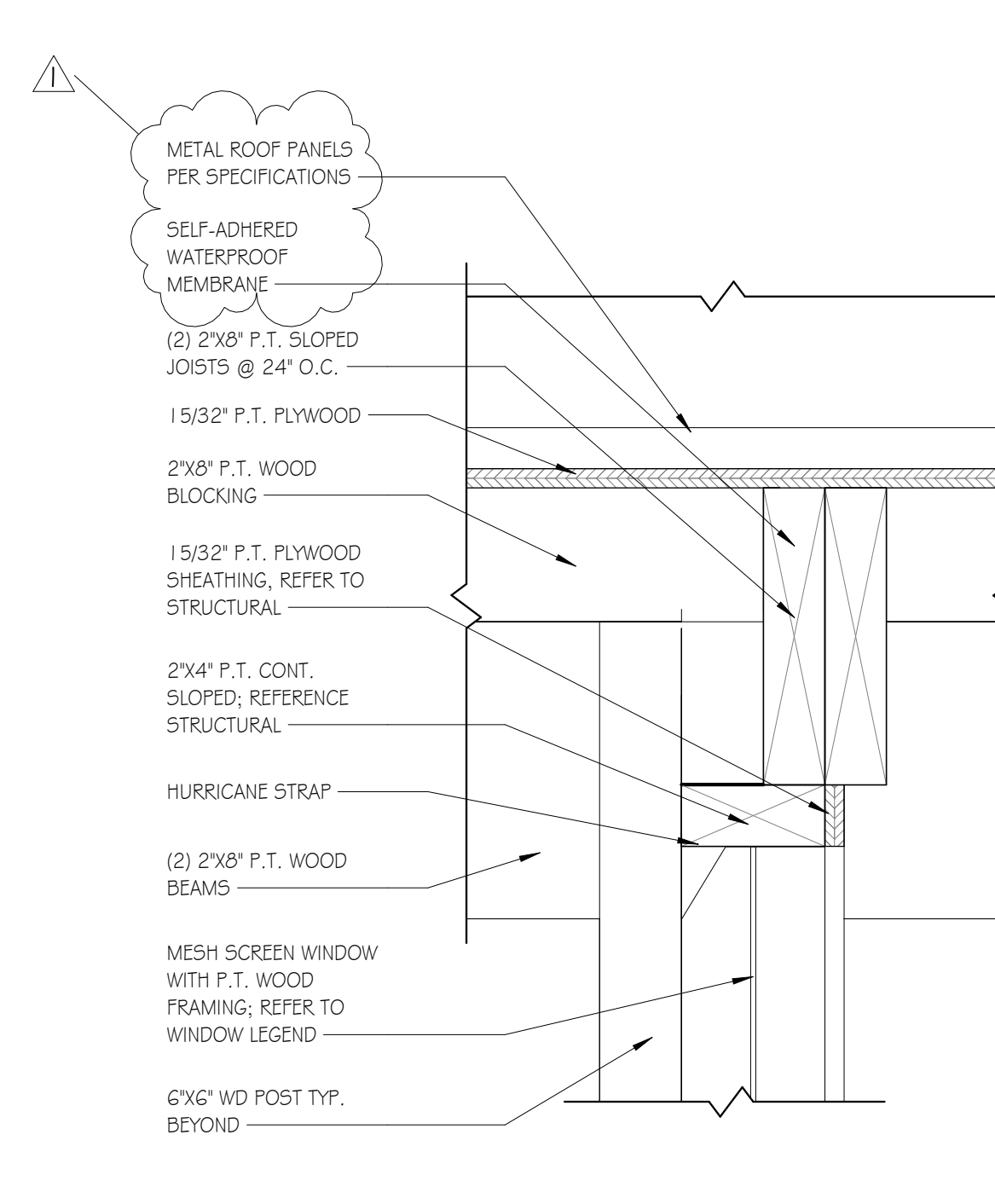
## 2 SECTION DETAIL

SCALE: 3" = 1'-0"

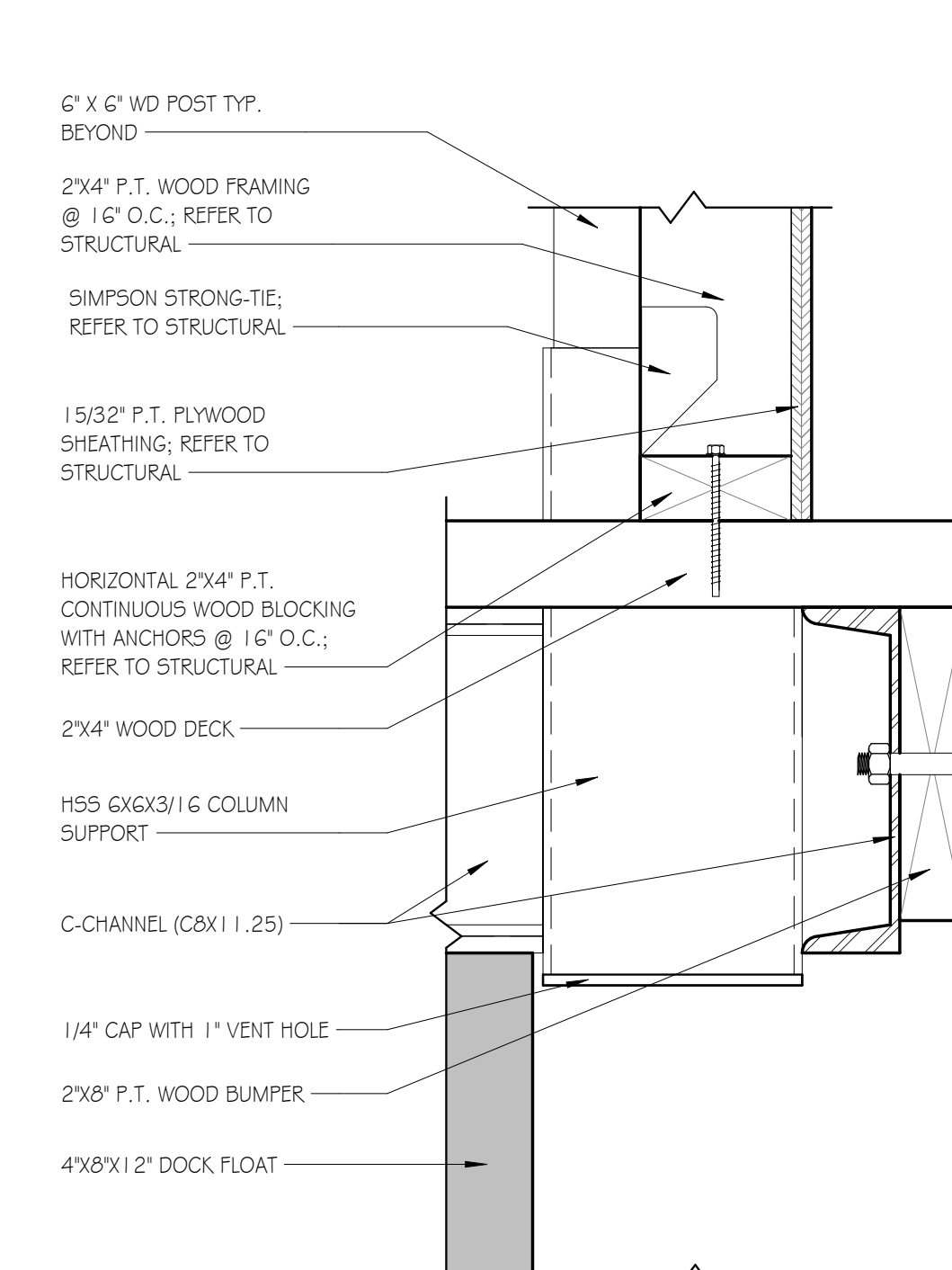


## 1 SECTION DETAIL

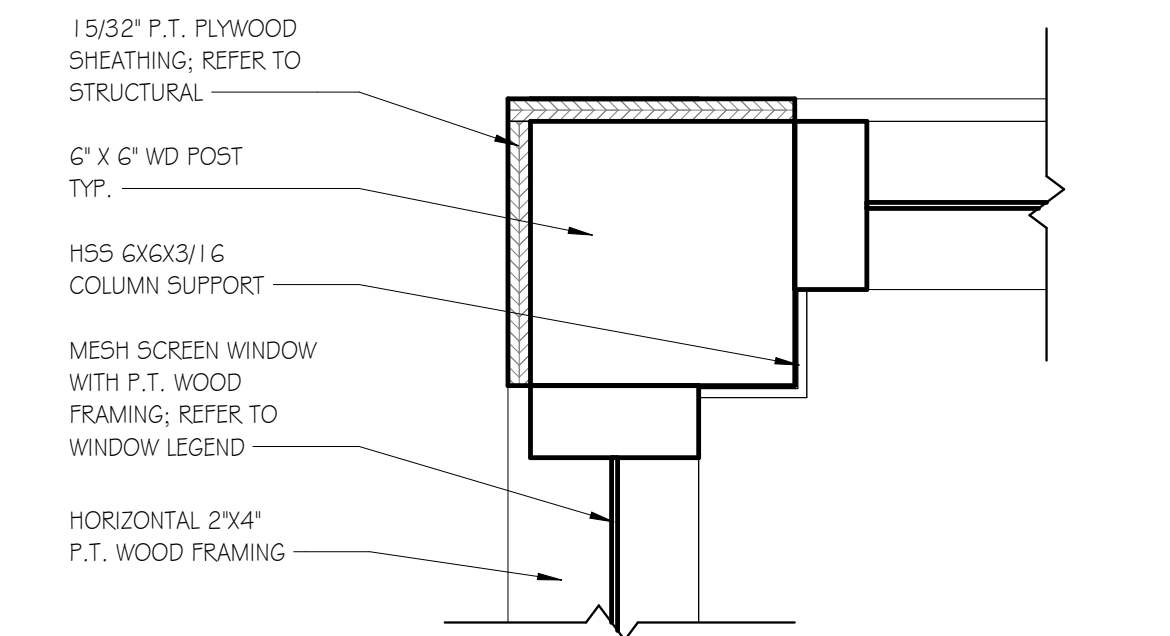
SCALE: 3" = 1'-0"



## 8 WALL SECTION 1 - CALLOUT 1

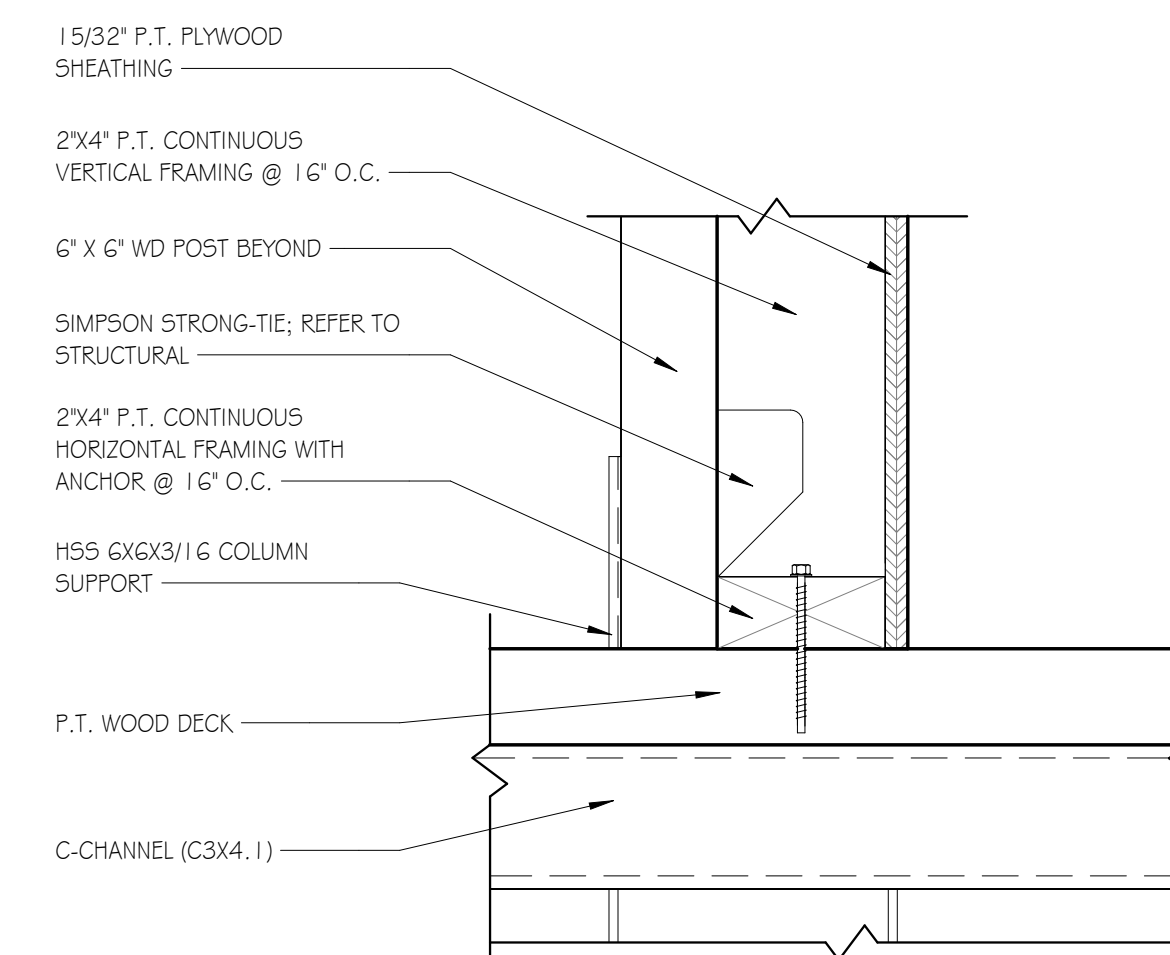


## 9 WALL SECTION 1- CALLOUT 2

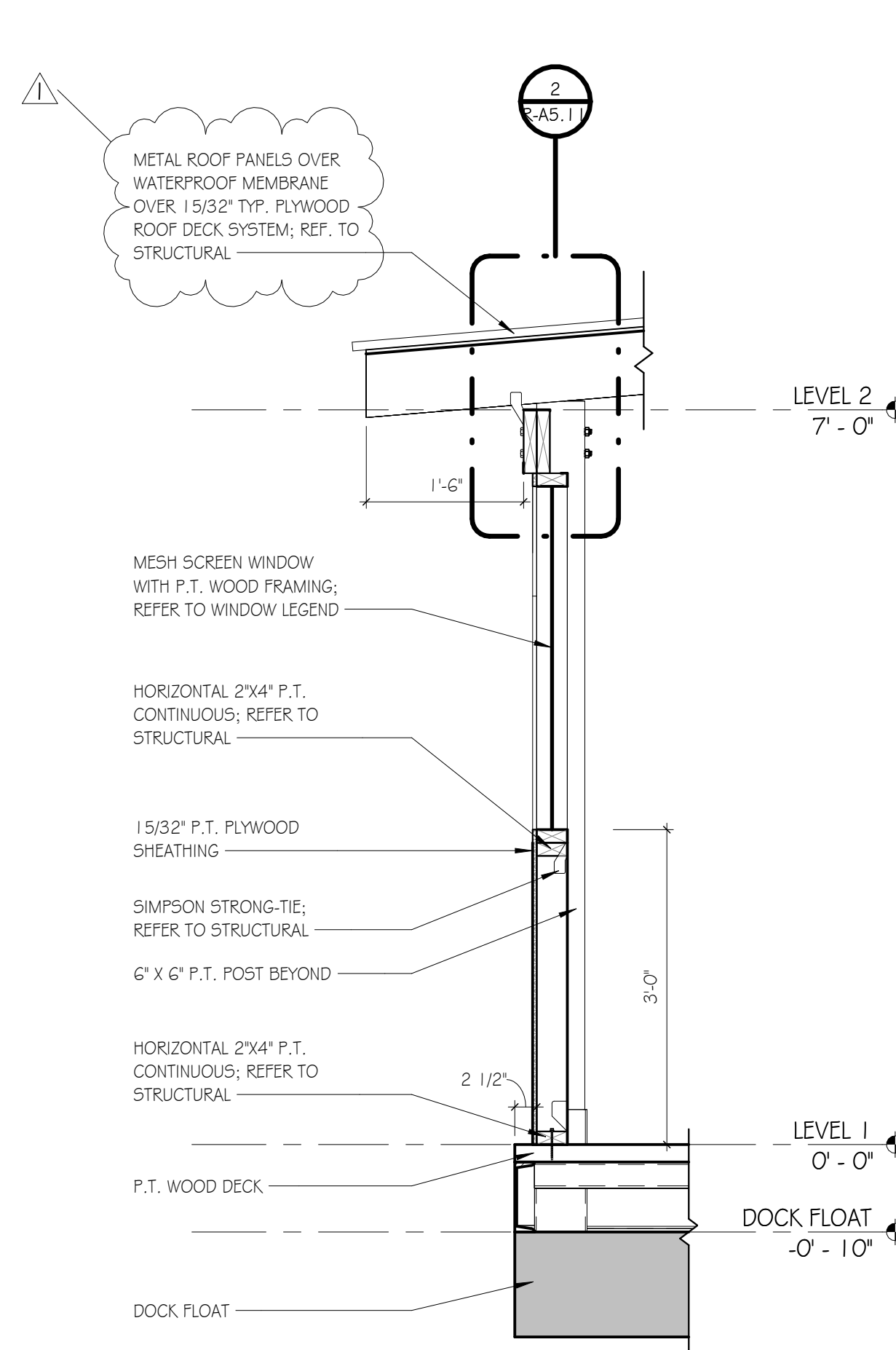


## 6 PLAN DETAIL

SCALE: 3" = 1'-0"

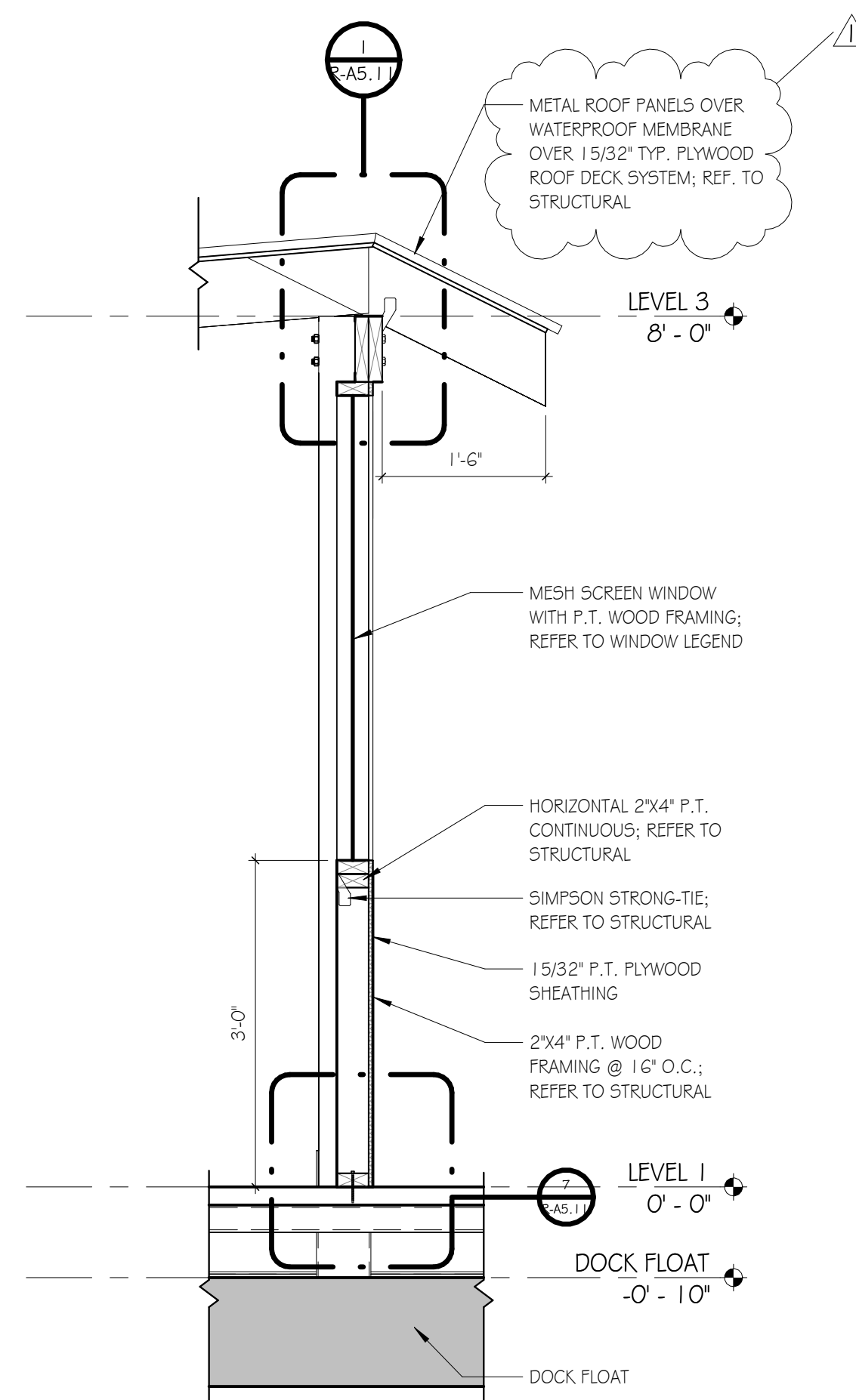


## 7 WALL SECTION 2 - CALLOUT 1



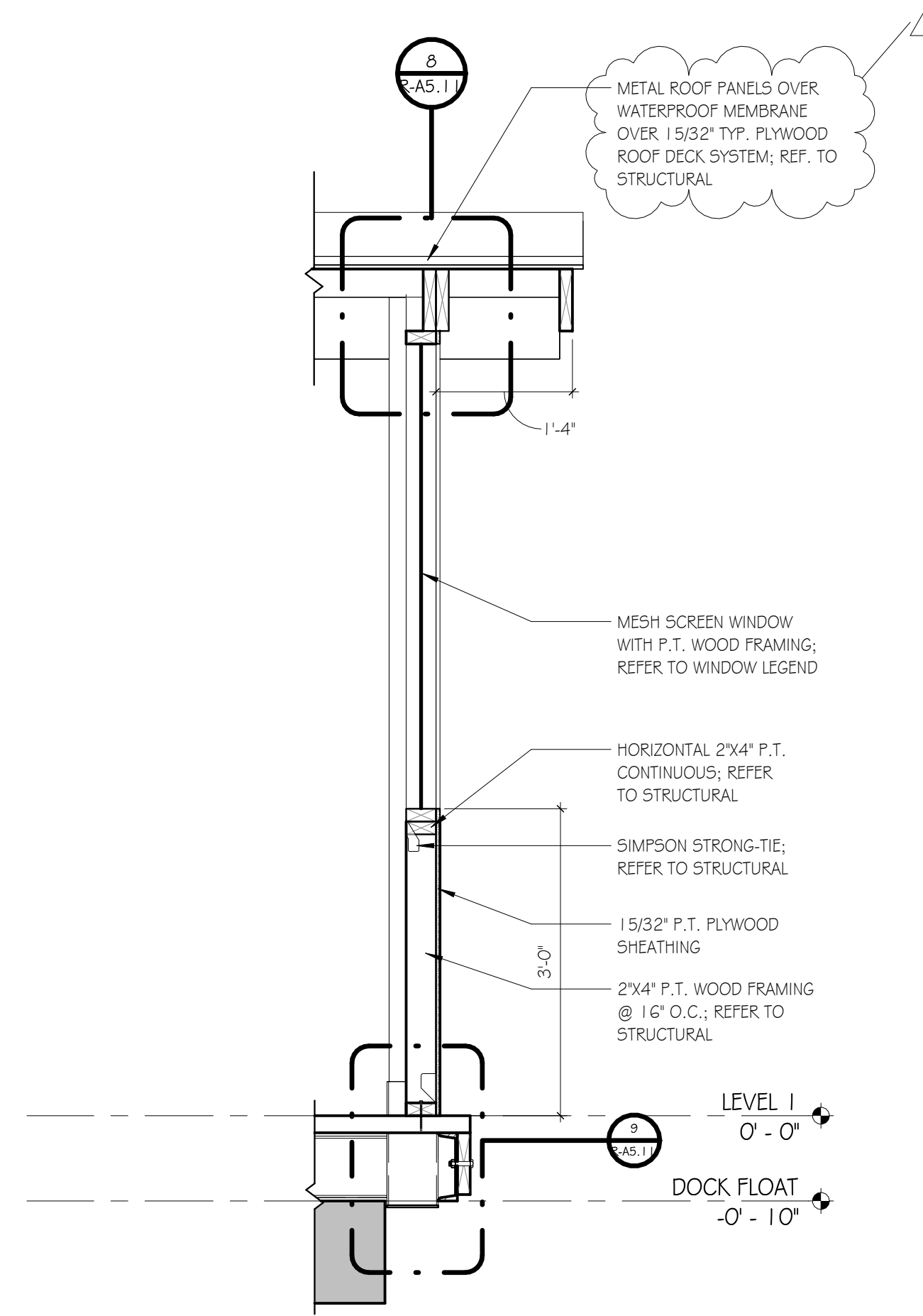
## 5 WALL SECTION

SCALE: 3/4" = 1'-0"



## 4 WALL SECTION

SCALE: 3/4" = 1'-0"



### 3 WALL SECTION

SCALE: 3/4" = 1'-0"